



## CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

### NORTH SALT LAKE PLANNING COMMISSION NOTICE & AGENDA April 12, 2022 6:30 p.m.

Notice is given of a public meeting of the North Salt Lake Planning Commission to be held on the above noted date and time in the North Salt Lake City Council Chambers located at 10 East Center Street. The agenda will be as follows:

- 1) Welcome, Pledge, and Introduction
- 2) Public comments
- 3) Consideration of site plan approval for Village Station Building 4 at 445 South Orchard Drive, Taylor Spendlove, applicant
- 4) Consideration of site plan approval for Village Station Building 5 at 314 South Orchard Drive, Taylor Spendlove, applicant
- 5) Consideration of a plat amendment vacating a portion of the public right of way which will be used for on street parking at 445 South Orchard Drive, Lot 8 of the Village Station at Eaglewood Subdivision
- 6) Town Center Form-Based Code Overview and Chapter 1 Review
- 7) Report on City Council actions on items recommended by Planning Commission
- 8) Approval of minutes:
  - a. 3/22/2022

Adjourn

The public is invited to attend all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the City offices at (801) 335-8700. Please provide at least 24 hours' notice for adequate arrangements to be made. The agenda items may be heard in a different order as warranted by the Commission.

#### Notice of Posting:

I, the duly appointed recorder for the City of North Salt Lake, hereby certify that the foregoing agenda was posted on the Utah Public Notice website, at city hall, and sent to the required newspapers this 7<sup>th</sup> day of April, 2022

Dated this 7<sup>th</sup> day of April, 2022

Wendy Page  
Wendy Page, City Recorder





# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

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10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Mackenzie Bennett, Planner  
**DATE:** April 12, 2022  
**SUBJECT:** Site Plan for Village Station at Eaglewood, Building 4 located at 445 South Orchard Drive

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### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the requested site plan for Village Station at Eaglewood, Building 4, with the following condition:

1. Correction of engineering redlines, if any.

### BACKGROUND

The City and the developer entered into an agreement amending the Eaglewood Village Development Agreement on August 6, 2019. The agreement provides for the construction of multiple buildings that include 27,000 sq. ft. of commercial/retail, 16,000 sq. ft. of office space, and up to 424 dwelling units in four-story buildings. This application is for building 4, which will be an extension of the multi-family development that has occurred on neighboring lots. This building will have 94 dwelling units and no commercial space. The subject property is currently vacant.

### REVIEW

The proposed architecture is contemporary modern style. It will be built with high-quality materials of brick, masonry, and stucco, with metal accents and balconies. The architecture is consistent with the existing apartments and buildings in the vicinity and the approved development agreement. The height is approximately 48 feet and conforms to the maximum height allowed per the agreement which is 75 feet. This building will have garages on the ground floor that are accessed from the parking lot and not from the city street. It will also have covered and uncovered surface parking.

The amended development agreement establishes the required parking ratios. The table below outlines the requirement and provided parking counts. The required 8 ADA parking stalls have been provided in the form of 4 standard ADA stalls, 2 van-accessible ADA stalls, and 2 garage parking ADA stalls. The current site plan also shows angle parking on Orchard Drive.

| Residential Uses   |           |                |                   |                       |                   |
|--------------------|-----------|----------------|-------------------|-----------------------|-------------------|
| Bed Count          | Units     | Required Ratio | Total             | Total provided        | Total             |
| Studio             | 0         | 1.25           | 0                 | Garage                | 25                |
| 1 bedroom          | 36        | 1.5            | 54                | Carport               | 69                |
| 2 Bedroom          | 44        | 1.75           | 77                | Surface               | 66                |
| 3 Bedroom          | 14        | 2              | 28                |                       |                   |
| <b>Total Units</b> | <b>94</b> |                | <b>159 spaces</b> | <b>Total Provided</b> | <b>160 spaces</b> |

The development agreement requires that the entire development site must have a minimum of 25% landscaping unless the UDOT Parcel along Highway 89 is landscaped, then the required landscaping can be reduced to 20%. The UDOT Parcel has been or is being landscaped and therefore, the required site landscaping has been reduced to 20%. The landscaping for this development is calculated for the entire site, not on a lot-by-lot basis. That said, the lot that holds building 4 will have approximately 25% landscaping after site improvements are made (27,462 sq. ft. of landscaping / 108,406 sq. ft. parcel size). The entire development site appears to exceed 20% landscaping but confirmation by the landscape architect or design engineer is needed.

The site will not be fenced and will provide pedestrian access to the Hwy 89 trail and the hillside trail. Lighting is shown on the plan and is required to be the city adopted residential standard.

The hillside above the development contains a rockfall hazard area. The geotechnical analysis required the removal of the large boulders in the hillside and the addition of a protective barrier for any additional rockfall that may occur to protect from damage to persons and property on the site. The removal of large boulders and installation of the protective barrier has been completed.

This development will provide multiple amenities for its residents and guests. Such amenities include a swimming pool and clubhouse (located on the first floor of building 1), bike and ski equipment lockers, trail connections, and landscaped open space.

The proposed site plan has been evaluated based upon compliance with the amended development agreement and the site/landscape plans approved as part of the General Development Plan. The site plan complies with requirements for circulation and traffic, as well as health, safety, and noise.

Due to the size and scope of this project, the site plan will need final approval from the City Council and the Planning Commission will be making a recommendation to the City Council on the application.

### **POSSIBLE MOTION**

I move that the Planning Commission recommends to the City Council the approval of the requested site plan for Village Station at Eaglewood, Building 4, with the following conditions:

1. Correction of engineering redlines, if any.

## Attachments

- 1) Zoning Map
- 2) Aerial Map
- 3) Site Plan
- 4) Landscape Plan
- 5) Architectural Elevations



# Village Station Building 4 Site Plan

## 445 South Orchard Drive

### Zoning



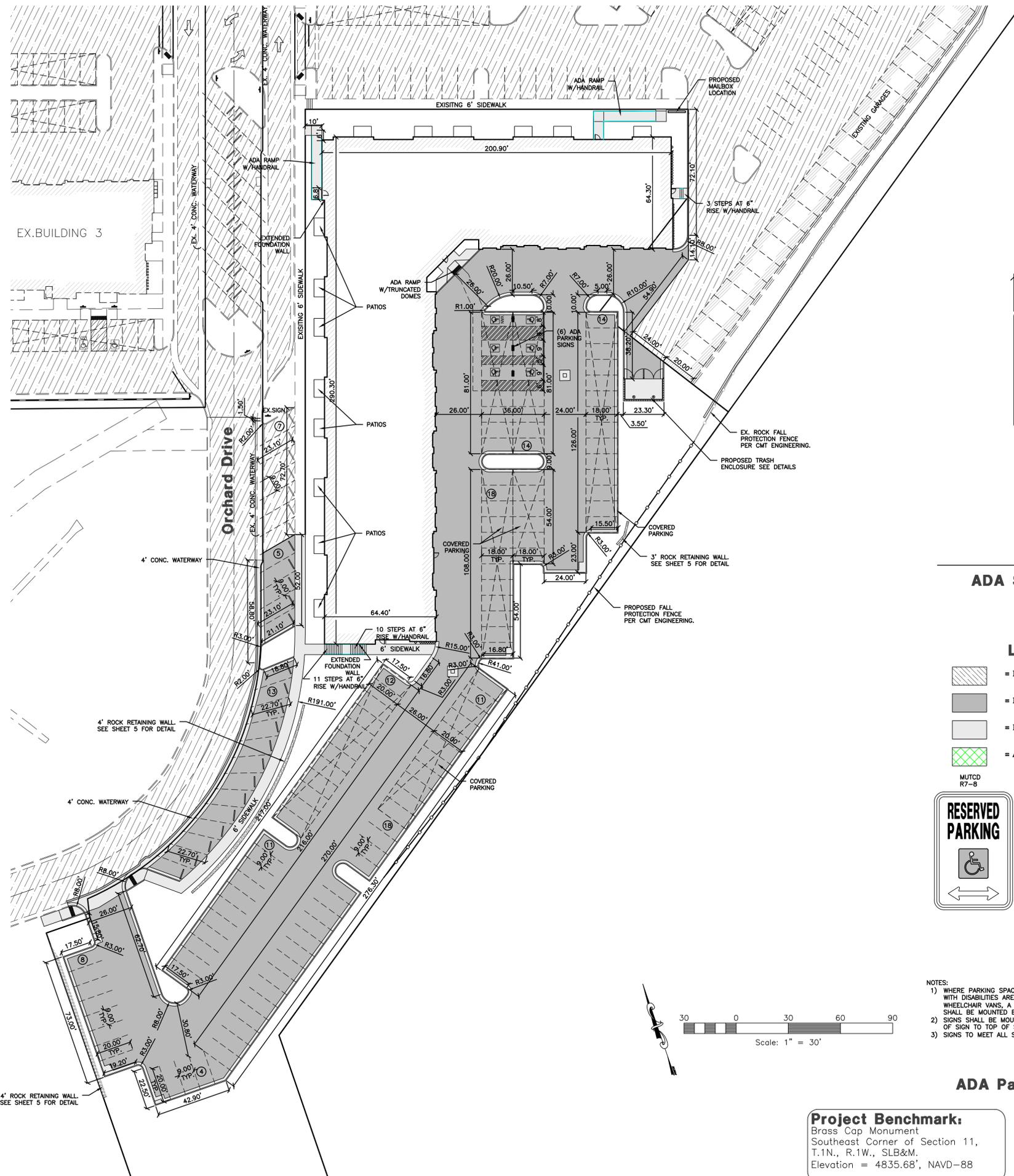


# Village Station Building 4 Site Plan

## 445 South Orchard Drive

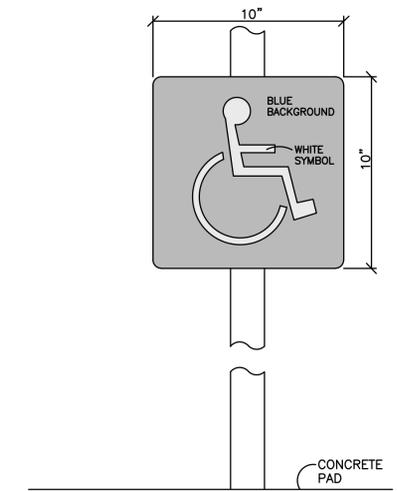
### Aerial





- NOTES:**
1. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLE BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
  2. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS, AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
  3. ALL PARKING STALLS TO BE PAINTED WITH 4" YELLOW PAINT STRIPING.

- MAILBOX NOTES:**
1. AT LEAST 5%, BUT NOT LESS THAN 1, OF THE MAILBOXES AND PARCEL BOXES PROVIDED SHALL BE ACCESSIBLE PER IBC 1109.9.
  2. MAILBOXES AND PARCEL BOXES ARE TO BE LOCATED ALONG AN ACCESSIBLE ROUTE IN COMPLIANCE WITH IBC 1109.9.2 AND 1104.
  3. CLEAR FLOOR SPACE SHALL BE PROVIDED FOR THE MAILBOXES AND PARCEL BOXES IN COMPLIANCE WITH ICC A117.1-09 SECTION 305.
  4. ENSURE THAT THE MAILBOXES AND PARCEL BOXES ARE WITHIN THE ACCESSIBLE REACH RANGES AS REQUIRED BY ICC A117.1-09 SECTION 308, AS WELL AS THE OPERABLE PARTS WILL BE WITHIN THESE REACH RANGES PER SECTION 309.
  5. MAILBOX SHOWN IS JUST REFERENCE TO LOCATION. NUMBER OF MAILBOXES OR STYLE OF BOX TO BE DECIDED BY OTHERS.



**ADA Stall Signage**

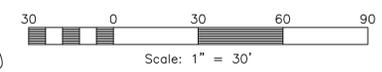
SEE SHEET C8 FOR TYPICAL ADA PARKING DETAIL

**Legend**

- = EXISTING ASPHALT PAVEMENT
- = PROPOSED ASPHALT PAVEMENT
- = PROPOSED CONCRETE
- = ADA ACCESSIBLE ROUTE



- NOTES:**
- 1) WHERE PARKING SPACES THAT ARE RESERVED FOR PERSONS WITH DISABILITIES ARE DESIGNATED TO ACCOMMODATE WHEELCHAIR VANS, A "VAN ACCESSIBLE" (R7-8P) PLAQUE SHALL BE MOUNTED BELOW THE R7-8 SIGN.
  - 2) SIGNS SHALL BE MOUNTED A MINIMUM OF 60" FROM BOTTOM OF SIGN TO TOP OF SIDEWALK.
  - 3) SIGNS TO MEET ALL STATE AND LOCAL REGULATIONS.



**ADA Parking Signage**

**Project Benchmark:**  
 Brass Cap Monument  
 Southeast Corner of Section 11,  
 T.1N., R.1W., SLB&M.  
 Elevation = 4835.68', NAVD-88



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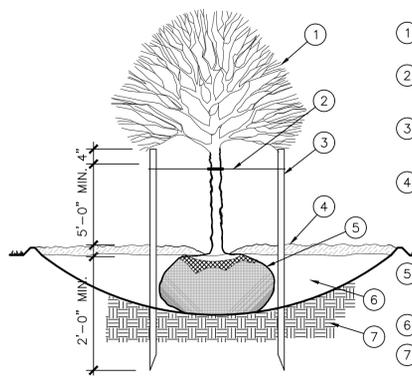
**Reeve & Associates, Inc.**  
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
 TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-associates.com  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

| REVISIONS | DATE | DESCRIPTION          |
|-----------|------|----------------------|
| 12-06-21  | CK   | Building Footprint   |
| 01-19-22  | CK   | Planning Comments    |
| 03-08-22  | RH   | City/Client Comments |
| 04-01-20  | CK   | Orchard Drive SWL    |

**Village Station at Eaglewood Building 4**  
 NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH  
**Proposed Site Plan**

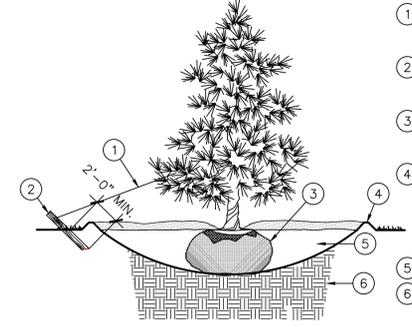


**Project Info.**  
 Engineer: J. DRAPER  
 Drafter: R. HANSEN  
 Begin Date: OCTOBER 6, 2021  
 Name: VILLAGE STATION AT EAGLEWOOD  
 Number: 6440-17



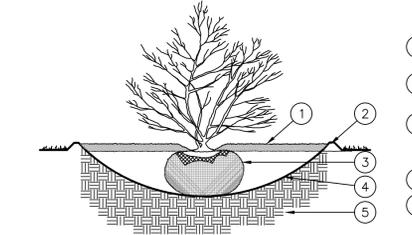
- 1 PRUNE ALL DEAD AND INJURED WOOD. DO NOT CUT LEADER.
- 2 LOOSELY TIE TO ALLOW FOR TREE MOVEMENT, BUT SECURED FOR HIGH WIND CONDITIONS.
- 3 METAL T-POSTS, 2 PER TREE. REMOVE POSTS & TIES AFTER ONE YEAR.
- 4 CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH. BRUSH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR.
- 5 REMOVE BURLAP/PACKAGING MAT. PLANT TREES 2"-3" HIGHER THAN GRADE.
- 6 BACKFILL WITH NATIVE SOIL
- 7 UNDISTURBED SOIL

NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.  
**DECIDUOUS TREE PLANTING**  
 NTS



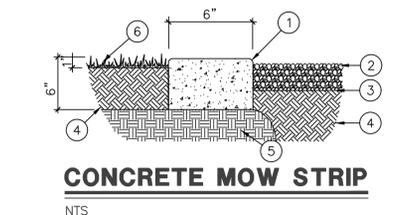
- 1 LOOSELY TIE TO ALLOW FOR TREE MOVEMENT, BUT SECURED FOR HIGH WIND CONDITIONS
- 2 4" x 2" x 2" STAKE AND GUY WIRE (ONE EA. TREE) REMOVE STAKES AFTER ONE YEAR
- 3 REMOVE BURLAP/PACKAGING MAT. PLANT TREES 2"-3" HIGHER THAN GRADE
- 4 CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH - BRUSH MULCH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR
- 5 BACKFILL WITH NATIVE SOIL
- 6 UNDISTURBED SOIL

NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.  
**CONIFEROUS TREE PLANTING**  
 NTS



- 1 3" OF BARK/ROCK MULCH. BRUSH AWAY FROM STEM
- 2 3" EARTH BERM SAUCER. REMOVE AFTER ONE YEAR
- 3 REMOVE BURLAP/PACKAGING MAT. PLANT SHRUBS 2"-3" HIGHER THAN GRADE.
- 4 BACKFILL WITH NATIVE SOIL
- 5 UNDISTURBED SOIL

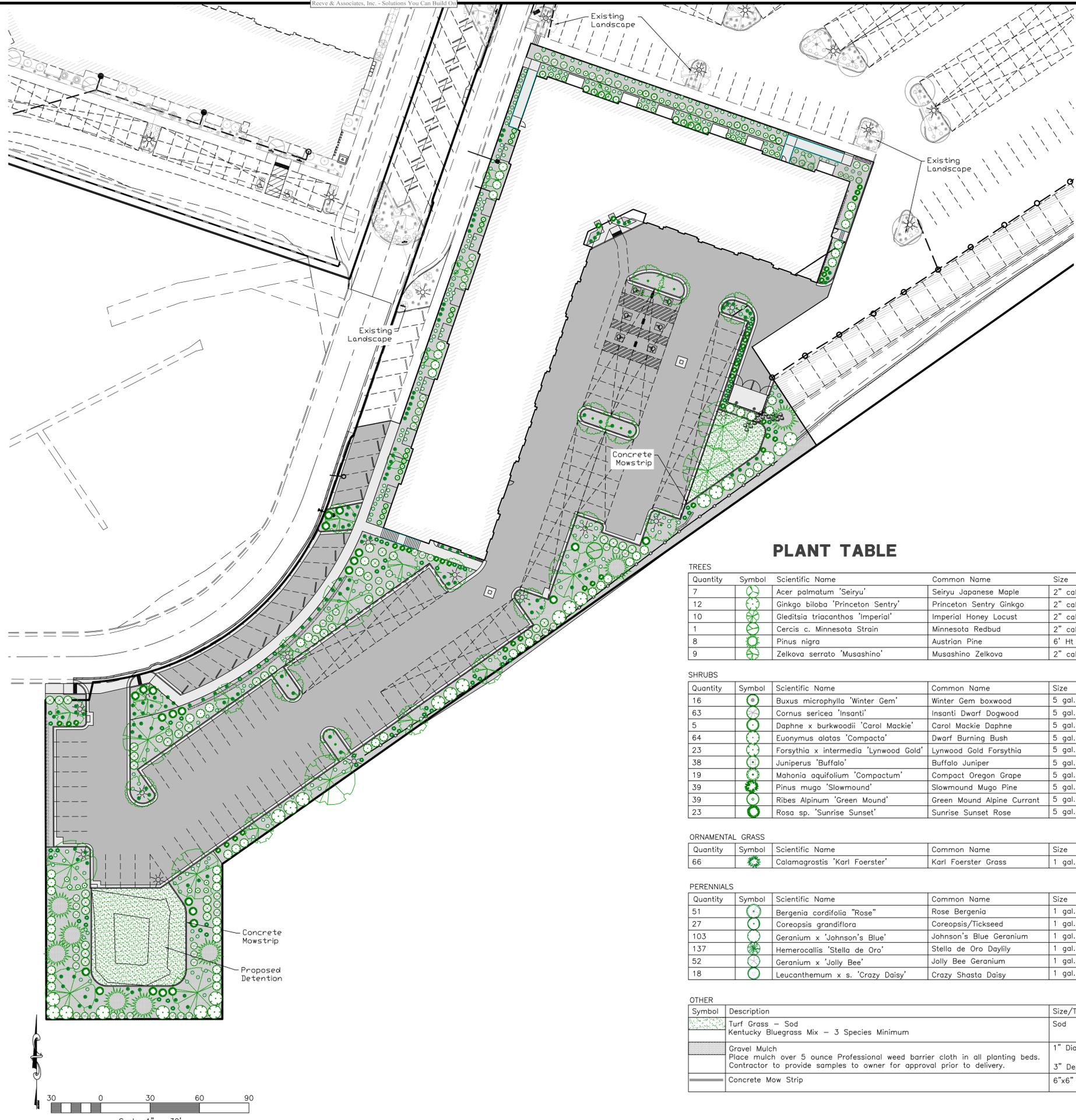
NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.  
**SHRUB PLANTING**  
 NTS



- 1 6"x6" CONCRETE MOW STRIP WITH RADIUS EDGES
- 2 BARK/ROCK MULCH
- 3 FINISH GRADE/WEED FABRIC
- 4 TOPSOIL
- 5 COMPACTED SUBGRADE
- 6 LAWN

**PLANTING NOTES**

1. This planting plan is diagrammatic and plant locations are approximate.
2. Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
3. Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
4. Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
5. Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
6. All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
7. Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
8. Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
9. Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
10. Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
11. Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
12. Provide a 3" minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" minimum depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
13. The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



**PLANT TABLE**

TREES

| Quantity | Symbol   | Scientific Name                         | Common Name             | Size    |
|----------|----------|---|-------------------------|---------|
| 7        | (Symbol) | <i>Acer palmatum 'Seiryu'</i>           | Seiryu Japanese Maple   | 2" cal. |
| 12       | (Symbol) | <i>Ginkgo biloba 'Princeton Sentry'</i> | Princeton Sentry Ginkgo | 2" cal. |
| 10       | (Symbol) | <i>Gleditsia triacanthos 'Imperial'</i> | Imperial Honey Locust   | 2" cal. |
| 1        | (Symbol) | <i>Cercis c. Minnesota Strain</i>       | Minnesota Redbud        | 2" cal. |
| 8        | (Symbol) | <i>Pinus nigra</i>                      | Austrian Pine           | 6' Ht   |
| 9        | (Symbol) | <i>Zelkova serrata 'Musashino'</i>      | Musashino Zelkova       | 2" cal. |

SHRUBS

| Quantity | Symbol   | Scientific Name                              | Common Name                | Size   |
|----------|----------|--|----------------------------|--------|
| 16       | (Symbol) | <i>Buxus microphylla 'Winter Gem'</i>        | Winter Gem boxwood         | 5 gal. |
| 63       | (Symbol) | <i>Cornus sericea 'Insanti'</i>              | Insanti Dwarf Dogwood      | 5 gal. |
| 5        | (Symbol) | <i>Daphne x burkwoodii 'Carol Mackie'</i>    | Carol Mackie Daphne        | 5 gal. |
| 64       | (Symbol) | <i>Euonymus alatus 'Compacta'</i>            | Dwarf Burning Bush         | 5 gal. |
| 23       | (Symbol) | <i>Forsythia x intermedia 'Lynwood Gold'</i> | Lynwood Gold Forsythia     | 5 gal. |
| 38       | (Symbol) | <i>Juniperus 'Buffalo'</i>                   | Buffalo Juniper            | 5 gal. |
| 19       | (Symbol) | <i>Mahonia aquifolium 'Compactum'</i>        | Compact Oregon Grape       | 5 gal. |
| 39       | (Symbol) | <i>Pinus mugo 'Slowmound'</i>                | Slowmound Mugo Pine        | 5 gal. |
| 39       | (Symbol) | <i>Ribes alpinum 'Green Mound'</i>           | Green Mound Alpine Currant | 5 gal. |
| 23       | (Symbol) | <i>Rosa sp. 'Sunrise Sunset'</i>             | Sunrise Sunset Rose        | 5 gal. |

ORNAMENTAL GRASS

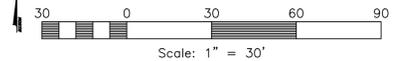
| Quantity | Symbol   | Scientific Name                      | Common Name         | Size   |
|----------|----------|--------------------------------------|---------------------|--------|
| 66       | (Symbol) | <i>Calamagrostis 'Karl Foerster'</i> | Karl Foerster Grass | 1 gal. |

PERENNIALS

| Quantity | Symbol   | Scientific Name                        | Common Name             | Size   |
|----------|----------|--|-------------------------|--------|
| 51       | (Symbol) | <i>Bergenia cordifolia 'Rose'</i>      | Rose Bergenia           | 1 gal. |
| 27       | (Symbol) | <i>Coreopsis grandiflora</i>           | Coreopsis/Tickseed      | 1 gal. |
| 103      | (Symbol) | <i>Geranium x 'Johnson's Blue'</i>     | Johnson's Blue Geranium | 1 gal. |
| 137      | (Symbol) | <i>Hemerocallis 'Stella de Oro'</i>    | Stella de Oro Daylily   | 1 gal. |
| 52       | (Symbol) | <i>Geranium x 'Jolly Bee'</i>          | Jolly Bee Geranium      | 1 gal. |
| 18       | (Symbol) | <i>Leucanthemum x s. 'Crazy Daisy'</i> | Crazy Shasta Daisy      | 1 gal. |

OTHER

| Symbol   | Description   | Size/Type   |
|----------|---|-------------|
| (Symbol) | Turf Grass - Sod  | Sod         |
| (Symbol) | Kentucky Bluegrass Mix - 3 Species Minimum  |             |
| (Symbol) | Gravel Mulch  | 1" Diameter |
| (Symbol) | Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery. | 3" Depth    |
| (Symbol) | Concrete Mow Strip  | 6"x6"       |



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 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| DATE      |             |

**VILLAGE STATION AT EAGLEWOOD**  
 Brighton - North Salt Lake  
 NORTH SALT LAKE, DAVIS COUNTY, UT

**OVERALL LANDSCAPE PLAN**



**Project Info.**  
 Landscape Architect: NATHAN PETERSON  
 Drafter: N. PETERSON  
 Begin Date: OCTOBER 2019  
 Name: BRIGHTON NORTH SALT LAKE  
 Number: 6440-17



CONCEPTUAL RENDERING:  
**VIEW OF BUILDING 4 FROM ORCHARD DRIVE**



**SALT WEST STUDIO**  
 45 E CENTER ST SUITE  
 103, NORTH SALT LAKE,  
 UT 84054  
 (801) 397-9755

**EAGLEWOOD APARTMENTS**

NORTH SALT LAKE

|             |                |
|-------------|----------------|
| Owner       | Owner          |
| Project Num | Project Number |
| Date        | 06/25/2019     |
| Drawn       | Author         |
| Checked     | Checker        |

| Rev# | Description | Date |
|------|-------------|------|
|      |             |      |
|      |             |      |
|      |             |      |

**BULIDING 4  
 RENDERING**

**A001**



**SALT WEST STUDIO**  
 45 E CENTER ST SUITE  
 103, NORTH SALT LAKE,  
 UT 84054  
 (801) 397-9755

**EAGLEWOOD APARTMENTS**

NORTH SALT LAKE

Owner \_\_\_\_\_ Owner \_\_\_\_\_  
 Project Num#Project Number \_\_\_\_\_  
 Date 06/25/2019  
 Drawn \_\_\_\_\_ Author \_\_\_\_\_  
 Checked \_\_\_\_\_ Checker \_\_\_\_\_

| Rev# | Description | Date |
|------|-------------|------|
|      |             |      |
|      |             |      |

**BUILDING 4  
 EXTERIOR  
 ELEVATIONS**

**A201**



**D1 BUILDING 4 WEST ELEVATION**  
 3/32" = 1'-0"

BUILDING 4 WEST ELEVATION FACES ORCHARD DRIVE

GROUND STORY TRANSPARENCY MUST EQUAL 25% MIN  
 UPPER FLOOR TRANSPARENCY MUST EQUAL 15% MIN

GROUND STORY PERCENTAGE = 3,241 TOTAL SQ FT / 1,042 GLAZING = **32.2%**  
 UPPER FLOOR PERCENTAGE = 10,618 TOTAL SQ FT / 2,677 GLAZING = **25.2%**



**A1 BUILDING 4 NORTH ELEVATION**  
 3/32" = 1'-0"

**A4 BUILDING 4 EAST ELEVATION 1**  
 3/32" = 1'-0"

11/24/2021 11:46:18 AM



**SALT WEST STUDIO**  
 45 E CENTER ST SUITE  
 103, NORTH SALT LAKE,  
 UT 84054  
 (801) 397-9755

**EAGLEWOOD APARTMENTS**

NORTH SALT LAKE

Owner: [ ]  
 Project Num: [ ]  
 Date: 06/25/2019  
 Drawn: [ ]  
 Checked: [ ]

| Rev# | Description | Date |
|------|-------------|------|
|      |             |      |
|      |             |      |

**BUILDING 4  
 EXTERIOR  
 ELEVATIONS**

**A202**



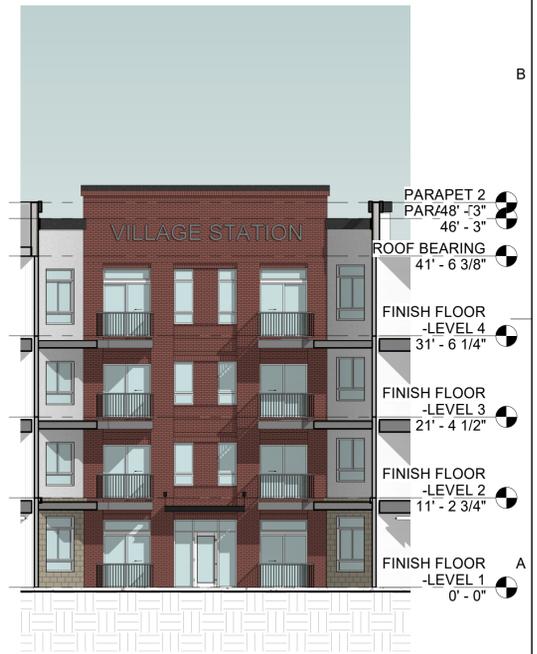
**D1 BUILDING 4 SOUTH ELEVATION 1**  
 3/32" = 1'-0"



**D4 BUILDING 4 SOUTH ELEVATION 2**  
 3/32" = 1'-0"



**A1 BUILDING 4 EAST ELEVATION 2**  
 3/32" = 1'-0"



**A5 BUILDING 4 INSIDE CORNER ELEVATION**  
 3/32" = 1'-0"

11/24/2021 11:46:25 AM



# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Mackenzie Bennett, Planner  
**DATE:** April 12, 2022  
**SUBJECT:** Site Plan for Village Station at Eaglewood, Building 5 located at 314 South Orchard Drive

---

### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the requested site plan for Village Station at Eaglewood, Building 5, with the following conditions:

1. Building permit may not be issued for Building 5 until such time that construction has begun on the Eaglewood Plaza Office Building;
2. A minimum of one covered space shall be assigned to each of the 94 residential units;
3. A sidewalk connection between the southern parking lot and main entrance must be installed per planner redlines; and
4. Correction of engineering redlines, if any.

### BACKGROUND

The City and the developer entered into an agreement amending the Eaglewood Village Development Agreement on August 6, 2019. The agreement provides for the construction of multiple buildings that include 27,000 sq. ft. of commercial/retail, 16,000 sq. ft. of office space, and up to 424 dwelling units in four-story buildings. This application is for building 5, which will be an extension of the multi-family development that has occurred on neighboring lots. This building will have 94 dwelling units and no commercial space. The subject property is currently vacant.

### REVIEW

The proposed architecture is contemporary modern style. It will be built with high-quality materials of brick, masonry, and stucco, with metal accents and balconies. The architecture is consistent with the existing apartments and buildings in the vicinity and the approved development agreement. The height is approximately 48 feet and conforms to the maximum height allowed per the agreement which is 75 feet.

The amended development agreement establishes the required parking ratios. Surface parking will be provided with 94 covered stalls and 2 uncovered stalls on the property. The applicant is proposing to share 62 uncovered parking stalls with the neighboring office/commercial building called Eaglewood Plaza. Shared parking is permitted in this development if it complies with the “peak usage table” in the development agreement. The table below outlines the required and provided parking counts for the multi-family development.

| Residential Uses   |           |                |                   |                       |                   |
|--------------------|-----------|----------------|-------------------|-----------------------|-------------------|
| Bed Count          | Units     | Required Ratio | Total             | Total provided        | Total             |
| Studio             | 0         | 1.25           | 0                 | Garage                | 0                 |
| 1 bedroom          | 41        | 1.5            | 61.5              | Carport               | 94                |
| 2 Bedroom          | 41        | 1.75           | 71.75             | Surface-on site       | 2                 |
| 3 Bedroom          | 12        | 2              | 24                | Surface-off site      | 62                |
| <b>Total Units</b> | <b>94</b> |                | <b>158 stalls</b> | <b>Total Provided</b> | <b>158 stalls</b> |

On November 17, 2020, the City Council approved the site plan for the Eaglewood Plaza office/commercial building at 290 South Orchard Drive, located north of the subject lot. The building has not been constructed because the applicant has not submitted a complete building permit application, nor applied for a pre-construction meeting with the City. Eaglewood Plaza is required to provide a minimum of 104 parking stalls for office use and 2 for retail use. The approved site plan has 126 parking stalls for office and 2 for retail. The property is over parked by 22 stalls.

A “Joint Use and Cross Access Agreement” was signed into effect on January 21, 2021, between Village Station NSL LLC and Eaglewood Plaza LLC (purchaser). The agreement states that the shared parking shall be used for Eaglewood Plaza’s employees, patrons, business invitees, tenants, occupants, and agents only during the hours of 8:00 am - 6:00 pm Monday through Friday. During the hours of 6:00 pm - 8:00 am Monday through Friday, and anytime Saturday and Sunday the shared parking may be used and occupied by the Village Station residents, visitors, invitees, employees, and agents. Village Station shall require all permitted users of the shared parking area to use a sticker/decal non-removable parking pass to identify their vehicle as a permitted parker during designated hours. The agreement also outlines the shared parking areas’ construction, maintenance, repair, and replacement.

To utilize shared parking, the combined parking must be equal to or exceed the highest requirement on the shared parking percentage table. Staff has determined that the proposed parking plan for both Eaglewood Plaza and Village Station building 5 are compliant with the parking ratios and shared parking percentages set forth in the development agreement, as outlined below:

| Standard Requirement       | Required # of Stalls | Provided # of Stalls |
|----------------------------|----------------------|----------------------|
| <b>Office Parking</b>      | 104                  | 126                  |
| <b>Retail Parking</b>      | 2                    | 2                    |
| <b>Residential Parking</b> | 158                  | 96                   |
| <b>Totals</b>              | 264                  | 224                  |

Shared Parking Percentages:

|             | Standard | 7 am-6 pm | Required | 6 pm-12 am | Required | 12 am-6 am | Required |
|-------------|----------|-----------|----------|------------|----------|------------|----------|
| Residential | 158      | 75%       | 118.5    | 80%        | 126.4    | 100%       | 158      |
| Office      | 104      | 100%      | 104      | 5%         | 5.2      | 5%         | 5.2      |
| Commercial  | 2        | 100%      | 2        | 80%        | 1.6      | 0%         | 0        |
|             |          |           | 224.5    |            | 133.2    |            | 163.2    |

The development agreement requires that the entire development site must have a minimum of 25% landscaping unless the UDOT Parcel along Highway 89 is landscaped, then the required landscaping can be reduced to 20%. The UDOT Parcel has been or is being landscaped and therefore, the required site landscaping has been reduced to 20%. The landscaping for this development is calculated for the entire site, not on a lot-by-lot basis. That said, the lot that holds building 5 will have approximately 19% landscaping after site improvements are made (16,631 sq. ft. of landscaping / 88,083 sq. ft. parcel size). The entire development site appears to exceed 20% landscaping but confirmation by the landscape architect or design engineer is needed with the final review at building permit issuance.

The site will not be fenced and will provide pedestrian access to the Highway 89 trail and the hillside trail. Lighting is shown on the plan and is required to be the city adopted residential standard.

This development will provide multiple amenities for its residents and guests. Such amenities include a swimming pool and clubhouse (located on the first floor of building 1), bike and ski equipment lockers, trail connections, and landscaped open space.

The proposed site plan has been evaluated based upon compliance with the amended development agreement and the site/landscape plans approved as part of the General Development Plan. The site plan complies with requirements for circulation and traffic, as well as health, safety, and noise.

Due to the size and scope of this project, the site plan will need final approval from the City Council and the Planning Commission will be making a recommendation to the City Council on the application.

**POSSIBLE MOTION**

I move that the Planning Commission recommends to the City Council the approval of the requested site plan for Village Station at Eaglewood, Building 5, with the following conditions:

1. Building permit may not be issued for Building 5 until such time that construction has begun on the Eaglewood Plaza Office Building;
2. A minimum of one covered space shall be assigned to each of the 94 residential units;
3. A sidewalk connection between the southern parking lot and main entrance must be installed per planner redlines; and
4. Correction of engineering redlines, if any.

## Attachments

- 1) Zoning Map
- 2) Aerial Map
- 3) Site Plan
- 4) Landscape Plan
- 5) Architecture Elevations



# Village Station Building 5 Site Plan

## 314 South Orchard Drive

### Zoning





# Village Station Building 5 Site Plan

## 314 South Orchard Drive

### Aerial



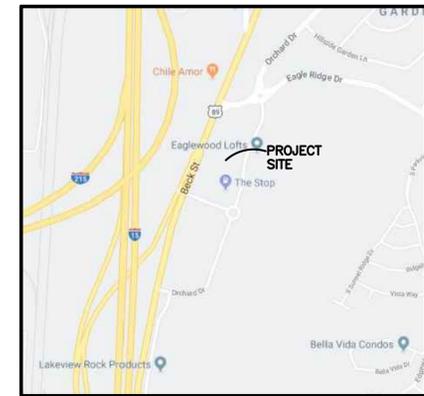
**Project Narrative/Notes/Revisions**

1. 2021/10/08 RH - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
2. 2021/10/14 RH - REVISED DESIGN PER CLIENT.
3. 2021/12/06 CK - REVISED BUILDING FOOTPRINT.
4. 2021/12/07 RH - REVISED PLANS PER CITY COMMENTS.

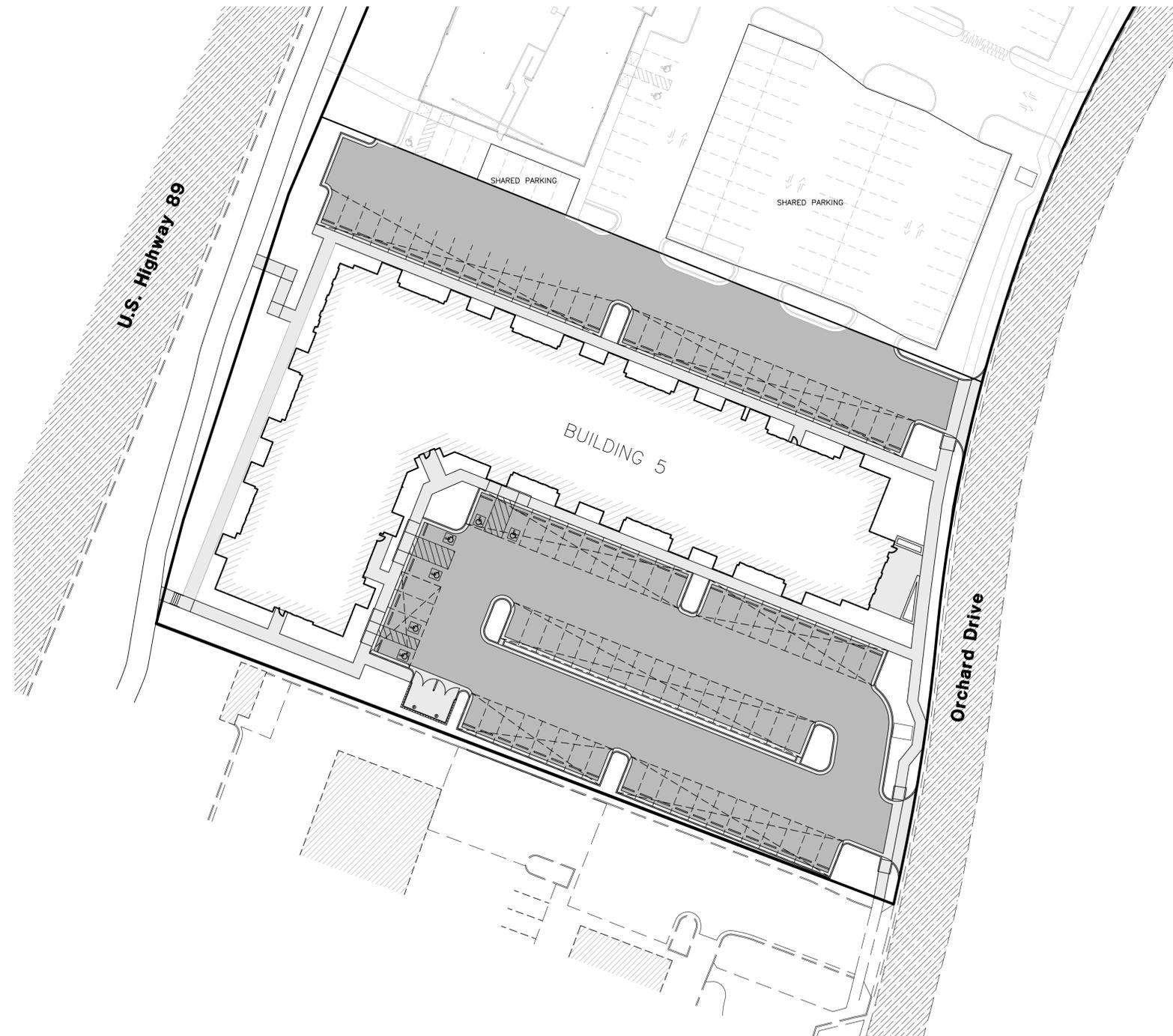
# Village Station at Eaglewood Building 5

## 314 South Orchard Drive Improvement Plans

PART OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN  
NORTH SALT LAKE, DAVIS COUNTY, UTAH  
OCTOBER 2021



**Vicinity Map**  
NOT TO SCALE



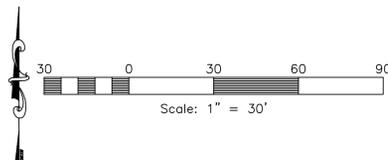
| SITE DATA                   |  |                 |                        |
|-----------------------------|--|-----------------|------------------------|
| UNITS:                      | 1-BEDROOM                                  | 41 UNITS        | 1.5/UNIT 61.5 SPACES   |
|                             | 2-BEDROOM                                  | 41 UNITS        | 1.75/UNIT 71.75 SPACES |
|                             | 3-BEDROOM                                  | 12 UNITS        | 2/UNIT 24 SPACES       |
|                             | <b>TOTAL</b>                               | <b>94 UNITS</b> | <b>157.25 SPACES</b>   |
| PARKING:                    | 158 STALLS REQUIRED (96 ONSITE, 62 SHARED) |                 |                        |
|                             | 94 COVERED STALLS                          |                 |                        |
|                             | 94 CARPORTS (COVERED)                      |                 |                        |
|                             | 64 UNCOVERED PROVIDED (62 SHARED)          |                 |                        |
|                             | 158 STALLS PROVIDED                        |                 |                        |
| SHARED PARKING:             | 6 ADA STALLS PROVIDED (2 VAN STALLS)       |                 |                        |
|                             | 4 CARPORTS (COVERED)                       |                 |                        |
|                             | 2 UNCOVERED                                |                 |                        |
| SHARED USE/PEAK USAGE TABLE |  |                 |                        |
|                             | 7AM-6PM                                    | 6PM-12AM        | 12AM-6AM               |
| RESIDENTIAL                 | 75%  | 80%             | 100%                   |
| OFFICE                      | 100%                                       | 5%              | 5%                     |
| COMMERCIAL                  | 100%                                       | 80%             | 0%                     |
| PARCEL AREA:                | 88,083 S.F. (2.02 ACRES)                   |                 |                        |
| BUILDING AREA:              | 25,306 S.F.                                |                 |                        |
| HARD SURFACE AREA:          | 46,146 S.F. (1.06 ACRES)                   |                 |                        |
| LANDSCAPE AREA:             | 16,631 S.F. (0.38 ACRES)                   |                 |                        |

**Sheet Index**

- Sheet C1 - Cover/Index Sheet
- Sheet C2 - Notes/Legend
- Sheet C3 - Existing Site Plan
- Sheet C4 - Proposed Site Plan
- Sheet C4.1 - Proposed Signage & Striping Plan
- Sheet C5 - Grading Plan
- Sheet C6 - Utility Plan
- Sheet C7 - Civil Details
- Sheet C7.1 - Civil Details
- Sheet C7.2 - Drainage Details
- Sheet C8 - Storm Water Pollution Prevention Plan Exhibit
- Sheet C9 - Storm Water Pollution Prevention Plan Details
- Sheet C10 - Landscape Plan
- Sheet C11 - Irrigation Plan
- Sheet C12 - Irrigation Details
- Sheet C13 - Lighting Plan (By Others)

**Engineer's Notice To Contractors**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.



**Project Benchmark:**  
Davis County Survey Rebar & Cap  
East 1/4 Corner of Section 11,  
T.1N., R.1W., SLB&M.  
Elevation = 4358.648', NAVD-88



**Developer Contact:**  
Brighton Homes  
45 East, Center Street #103  
North Salt Lake, Utah 84054  
PH: (801) 397-9755

**Project Contact:**  
Project Manager: J. DRAPER  
Project Engineer: J. DRAPER



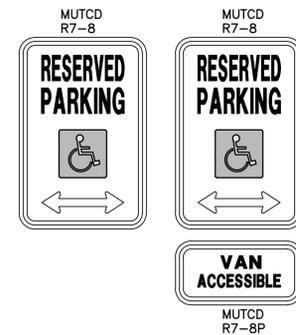
| REVISIONS | DATE     | DESCRIPTION           |
|-----------|----------|-----------------------|
|           | 12-06-21 | CK Building Footprint |
|           | 12-07-21 | RH City Comments      |
|           | 01-04-22 | RH Client Changes     |
|           | 03-15-22 | RH Parking Update     |

**Village Station at Eaglewood  
314 South Orchard Drive**  
NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH



**Project Info.**  
Engineer: JEREMY A. DRAPER, P.E.  
Drafted: R. HANSEN  
Begin Date: September 2021  
Name: Village Station  
314 South Orchard Dr.  
Number: 6440-18

NORTHEAST CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, FOUND DAVIS COUNTY SURVEY BRASS CAP MONUMENT



- NOTES:
- 1) WHERE PARKING SPACES THAT ARE RESERVED FOR PERSONS WITH DISABILITIES ARE DESIGNATED TO ACCOMMODATE WHEELCHAIR VANS, A "VAN ACCESSIBLE" (R7-8P) PLAQUE SHALL BE MOUNTED BELOW THE R7-8 SIGN.
  - 2) SIGNS SHALL BE MOUNTED A MINIMUM OF 60" FROM BOTTOM OF SIGN TO TOP OF SIDEWALK.
  - 3) SIGNS TO MEET ALL STATE AND LOCAL REGULATIONS.

**Reeve & Associates, Inc.**  
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TEL: (801) 671-3100 www.reeve.co

**RA**

TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

| REVISIONS | DATE | DESCRIPTION        |
|-----------|------|--------------------|
| 12-06-21  | CK   | Building Footprint |
| 12-07-21  | RH   | City Comments      |
| 01-04-22  | RH   | Client Changes     |
| 03-15-22  | RH   | Parking Update     |

**Village Station at Eaglewood**  
**314 South Orchard Drive**  
 NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

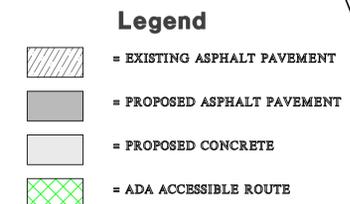
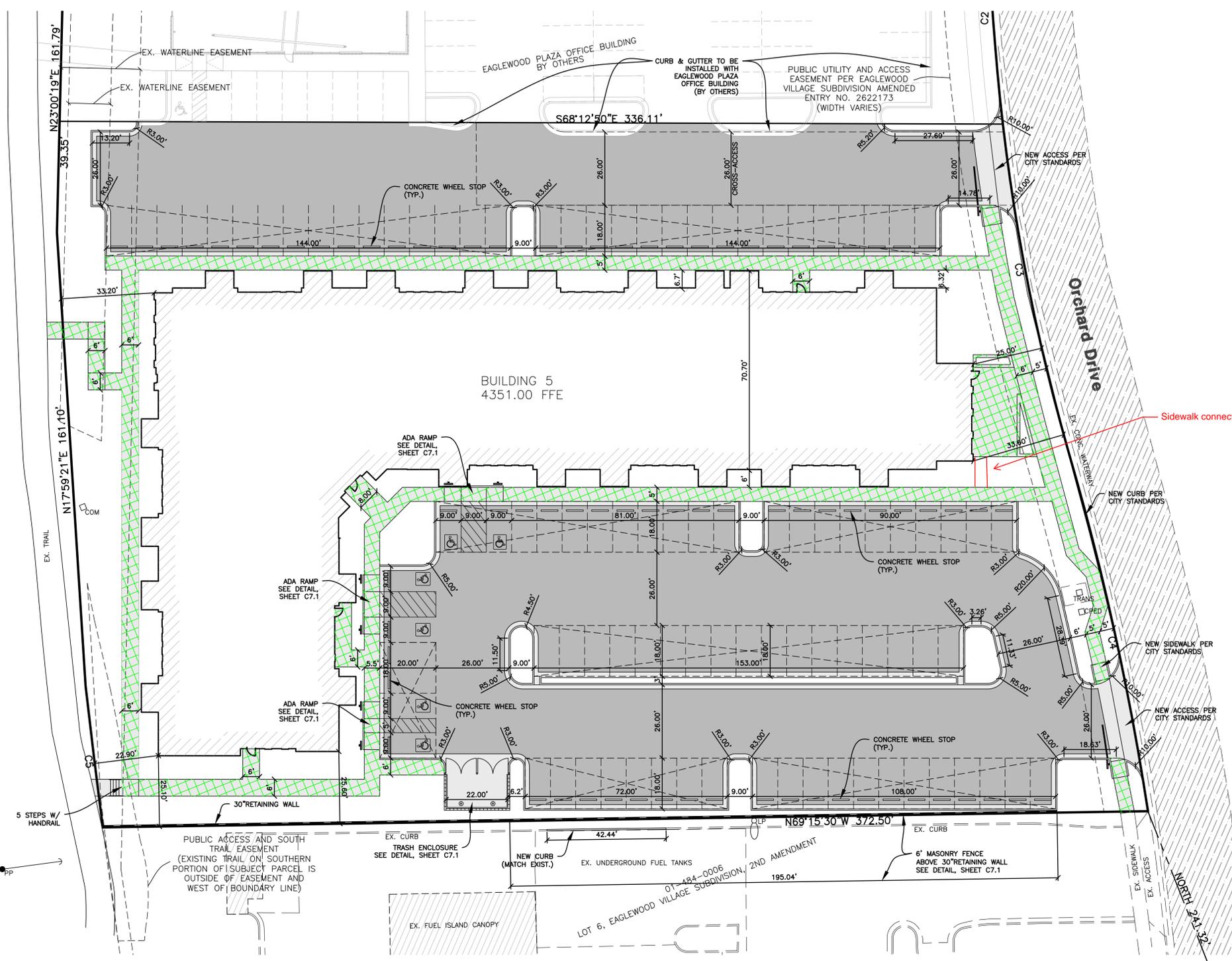
**Proposed Site Plan**

Revised: 2022-01-04

REGISTERED PROFESSIONAL ENGINEER  
 JEREMY A. DRAPER  
 03/15/2022  
 STATE OF UTAH

**Project Info.**

Engineer: JEREMY A. DRAPER, P.E.  
 Drafter: R. HANSEN  
 Begin Date: September 2021  
 Name: Village Station  
 314 South Orchard Dr.  
 Number: 6440-18



EAST QUARTER CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, FOUND DAVIS COUNTY SURVEY REBAR AND CAP

- NOTES:
1. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLE BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
  2. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS, AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
  3. ALL PARKING STALLS TO BE PAINTED WITH 4" YELLOW PAINT STRIPING.

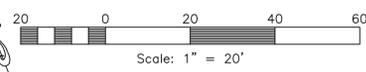
SEE SHEET C7.1 FOR TYPICAL ADA PARKING DETAIL

**Project Benchmark:**  
 Davis County Survey Rebar & Cap  
 East 1/4 Corner of Section 11,  
 T.1N., R.1W., SLB&M.  
 Elevation = 4358.648', NAVD-88

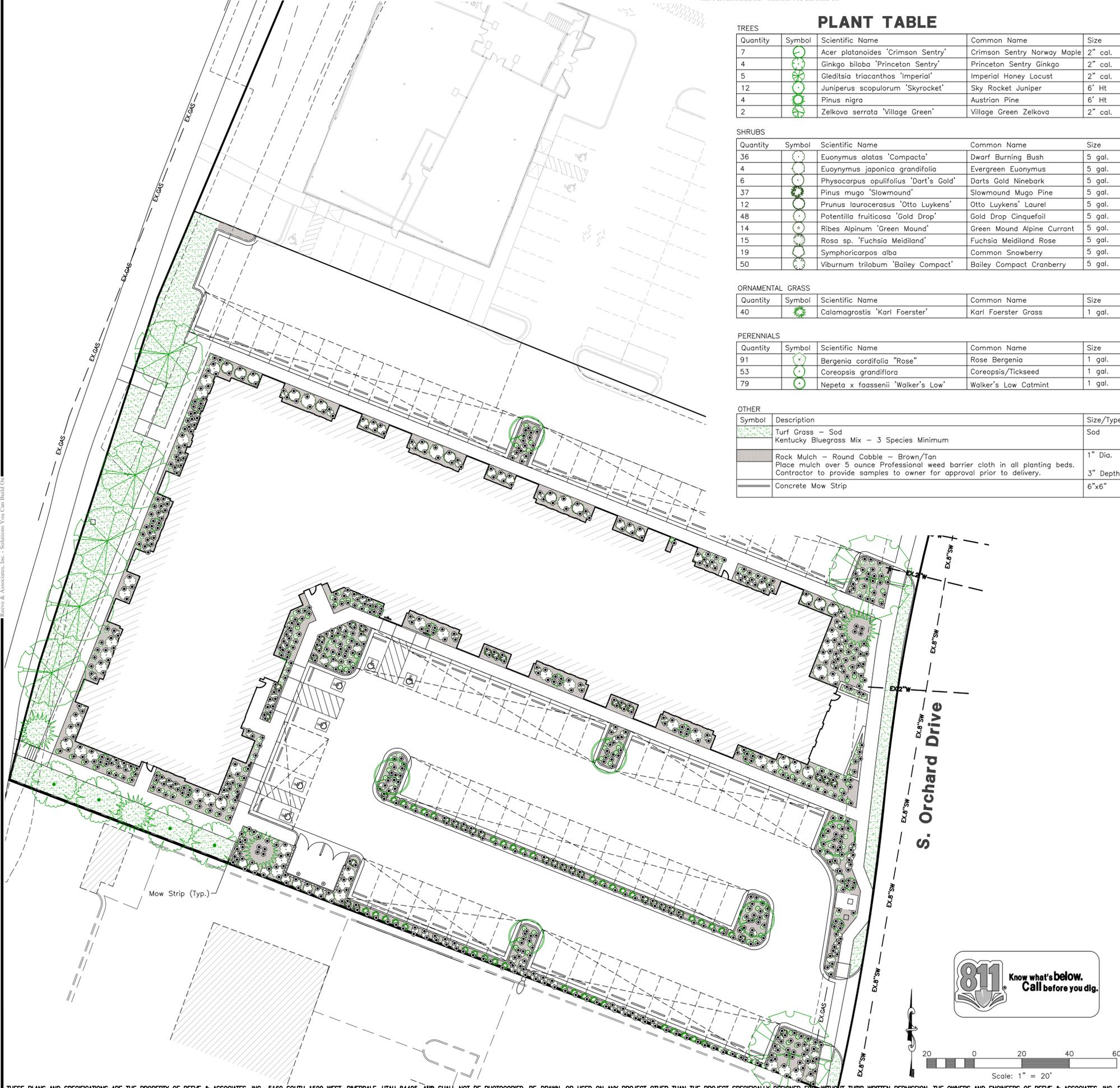


**Curve Table**

| #  | RADIUS   | ARC LENGTH | CHD LENGTH | TANGENT | CHD BEARING | DELTA     |
|----|----------|------------|------------|---------|-------------|-----------|
| C1 | 485.42'  | 34.96'     | 34.95'     | 17.49'  | S28°14'32"W | 4°07'34"  |
| C2 | 723.91'  | 184.95'    | 184.45'    | 92.98'  | S24°06'04"W | 14°38'18" |
| C3 | 724.83'  | 146.02'    | 145.77'    | 73.26'  | S11°23'51"W | 11°32'32" |
| C4 | 983.50'  | 131.78'    | 131.68'    | 65.99'  | S09°04'12"W | 7°40'37"  |
| C5 | 3245.04' | 50.57'     | 50.57'     | 25.29'  | N14°40'12"E | 0°53'34"  |



CENTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, NOT FOUND



### PLANT TABLE

| TREES    |        |                                   |                             |         |  |
|----------|--------|-----------------------------------|-----------------------------|---------|--|
| Quantity | Symbol | Scientific Name                   | Common Name                 | Size    |  |
| 7        |        | Acer platanoides 'Crimson Sentry' | Crimson Sentry Norway Maple | 2" cal. |  |
| 4        |        | Ginkgo biloba 'Princeton Sentry'  | Princeton Sentry Ginkgo     | 2" cal. |  |
| 5        |        | Gleditsia triacanthos 'Imperial'  | Imperial Honey Locust       | 2" cal. |  |
| 12       |        | Juniperus scopulorum 'Skyrocket'  | Sky Rocket Juniper          | 6' Ht   |  |
| 4        |        | Pinus nigra                       | Austrian Pine               | 6' Ht   |  |
| 2        |        | Zelkova serrata 'Village Green'   | Village Green Zelkova       | 2" cal. |  |

| SHRUBS   |        |                                       |                            |        |  |
|----------|--------|---------------------------------------|----------------------------|--------|--|
| Quantity | Symbol | Scientific Name                       | Common Name                | Size   |  |
| 36       |        | Euonymus alatus 'Compacta'            | Dwarf Burning Bush         | 5 gal. |  |
| 4        |        | Euonymus japonica grandifolia         | Evergreen Euonymus         | 5 gal. |  |
| 6        |        | Physocarpus opulifolius 'Dart's Gold' | Dart's Gold Ninebark       | 5 gal. |  |
| 37       |        | Pinus mugo 'Slowmound'                | Slowmound Mugo Pine        | 5 gal. |  |
| 12       |        | Prunus laurocerasus 'Otto Luykens'    | Otto Luykens' Laurel       | 5 gal. |  |
| 48       |        | Potentilla fruticosa 'Gold Drop'      | Gold Drop Cinquefoil       | 5 gal. |  |
| 14       |        | Ribes Alpinum 'Green Mound'           | Green Mound Alpine Currant | 5 gal. |  |
| 15       |        | Rosa sp. 'Fuchsia Meidiland'          | Fuchsia Meidiland Rose     | 5 gal. |  |
| 19       |        | Symphoricarpos alba                   | Common Snowberry           | 5 gal. |  |
| 50       |        | Viburnum trilobum 'Bailey Compact'    | Bailey Compact Cranberry   | 5 gal. |  |

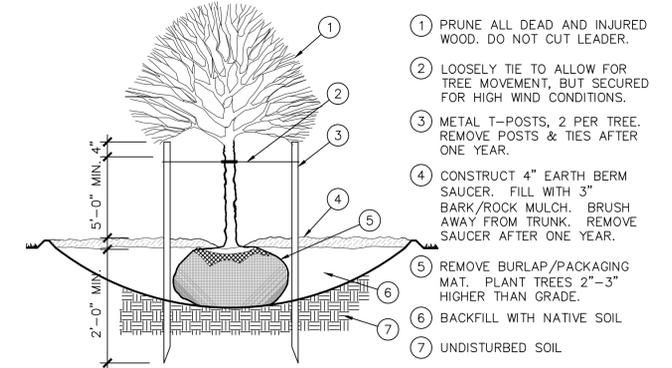
| ORNAMENTAL GRASS |        |                               |                     |        |  |
|------------------|--------|-------------------------------|---------------------|--------|--|
| Quantity         | Symbol | Scientific Name               | Common Name         | Size   |  |
| 40               |        | Calamagrostis 'Karl Foerster' | Karl Foerster Grass | 1 gal. |  |

| PERENNIALS |        |                                   |                      |        |  |
|------------|--------|-----------------------------------|----------------------|--------|--|
| Quantity   | Symbol | Scientific Name                   | Common Name          | Size   |  |
| 91         |        | Bergenia cordifolia "Rose"        | Rose Bergenia        | 1 gal. |  |
| 53         |        | Coreopsis grandiflora             | Coreopsis/Tickseed   | 1 gal. |  |
| 79         |        | Nepeta x faassenii 'Walker's Low' | Walker's Low Catmint | 1 gal. |  |

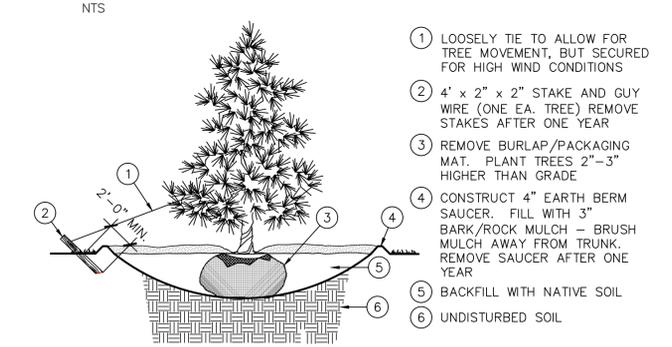
  

| OTHER  |   |                     |  |  |  |
|--------|---|---------------------|--|--|--|
| Symbol | Description   | Size/Type           |  |  |  |
|        | Turf Grass - Sod<br>Kentucky Bluegrass Mix - 3 Species Minimum  | Sod                 |  |  |  |
|        | Rock Mulch - Round Cobble - Brown/Tan<br>Place mulch over 5 ounce Professional weed barrier cloth in all planting beds.<br>Contractor to provide samples to owner for approval prior to delivery. | 1" Dia.<br>3" Depth |  |  |  |
|        | Concrete Mow Strip  | 6"x6"               |  |  |  |



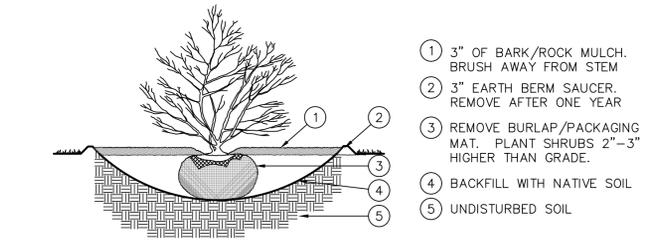
NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.

### DECIDUOUS TREE PLANTING



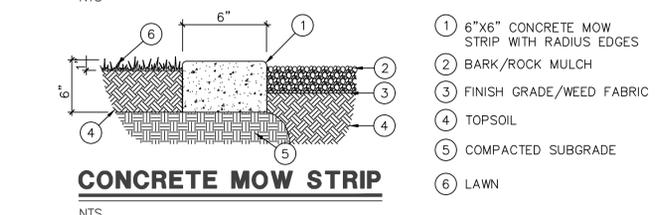
NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.

### CONIFEROUS TREE PLANTING



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.

### SHRUB PLANTING



### CONCRETE MOW STRIP

- ### PLANTING NOTES
- This planting plan is diagrammatic and plant locations are approximate.
  - Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
  - Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
  - Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
  - Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
  - All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
  - Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
  - Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
  - Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
  - Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
  - Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
  - Provide a 3' minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" minimum depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
  - The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.

**Reeve & Associates, Inc.**  
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
 TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

| REVISIONS | DESCRIPTION |
|-----------|-------------|
|           |             |
|           |             |
|           |             |
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|           |             |
|           |             |

**Village Station at Eaglewood**  
**314 South Orchard Drive**  
 NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

**Landscape Plan**

**Revised: 2022-01-04**

**Project Info.**

|             |                       |
|-------------|-----------------------|
| Engineer:   | NATHAN PETERSON       |
| Drafter:    | N. PETERSON           |
| Begin Date: | September 2021        |
| Name:       | Village Station       |
|             | 314 South Orchard Dr. |
| Number:     | 6440-18               |



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

**EAGLEWOOD APARTMENTS**

NORTH SALT LAKE

Owner  
Project Number  
Date 06/25/2019  
Drawn  
Checked  
Author  
Checker

| Rev# | Description | Date |
|------|-------------|------|
|      |             |      |
|      |             |      |
|      |             |      |

**BUILDING 5  
RENDERING**

**A002**



CONCEPTUAL RENDERING:  
VIEW OF BUILDING 5 FROM ORCHARD DRIVE

11/24/2021 11:46:02 AM



**SALT WEST STUDIO**  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

**EAGLEWOOD APARTMENTS**

NORTH SALT LAKE

Owner \_\_\_\_\_ Owner \_\_\_\_\_  
Project Num# \_\_\_\_\_ Project Number \_\_\_\_\_  
Date \_\_\_\_\_ 06/25/2019  
Drawn \_\_\_\_\_ Author \_\_\_\_\_  
Checked \_\_\_\_\_ Checker \_\_\_\_\_

| Rev# | Description | Date |
|------|-------------|------|
|      |             |      |
|      |             |      |
|      |             |      |

**BUILDING 5  
RENDERING**

**A003**



CONCEPTUAL RENDERING:  
**VIEW OF BUILDING 5 FROM HIGHWAY 89**

11/24/2021 11:46:02 AM



**SALT WEST STUDIO**  
 45 E CENTER ST SUITE  
 103, NORTH SALT LAKE,  
 UT 84054  
 (801) 397-9755

**EAGLEWOOD APARTMENTS**  
 NORTH SALT LAKE



- PARAPET 2  
PAR48' -13"  
46' - 3"
- ROOF BEARING  
41' - 6 3/8"
- FINISH FLOOR  
-LEVEL 4  
31' - 6 1/4"
- FINISH FLOOR  
-LEVEL 3  
21' - 4 1/2"
- FINISH FLOOR  
-LEVEL 2  
11' - 2 3/4"
- FINISH FLOOR  
-LEVEL 1  
0' - 0"

**D1 BUILDING 5 WEST ELEVATION**  
 3/32" = 1'-0"

BUILDING 5 WEST ELEVATION FACES HIGHWAY 89

GROUND STORY TRANSPARENCY MUST EQUAL 25% MIN  
 UPPER FLOOR TRANSPARENCY MUST EQUAL 15% MIN

GROUND STORY PERCENTAGE = 1,843 TOTAL SQ FT / 602 GLAZING = **32.6%**  
 UPPER FLOOR PERCENTAGE = 6,073 TOTAL SQ FT / 1536 GLAZING = **25.3%**



- PARAPET 2  
PAR48' -13"  
46' - 3"
- ROOF BEARING  
41' - 6 3/8"
- FINISH FLOOR  
-LEVEL 4  
31' - 6 1/4"
- FINISH FLOOR  
-LEVEL 3  
21' - 4 1/2"
- FINISH FLOOR  
-LEVEL 2  
11' - 2 3/4"

**D5 BUILDING 5 EAST ELEVATION 1**  
 3/32" = 1'-0"

BUILDING 5 WEST ELEVATION 1 FACES ORCHARD DRIVE

GROUND STORY TRANSPARENCY MUST EQUAL 25% MIN  
 UPPER FLOOR TRANSPARENCY MUST EQUAL 15% MIN

GROUND STORY PERCENTAGE = 719 TOTAL SQ FT / 198 GLAZING = **27.5%**  
 UPPER FLOOR PERCENTAGE = 2,447 TOTAL SQ FT / 546 GLAZING = **22.3%**



- PARAPET 2  
PAR48' -13"  
46' - 3"
- ROOF BEARING  
41' - 6 3/8"
- FINISH FLOOR  
-LEVEL 4  
31' - 6 1/4"
- FINISH FLOOR  
-LEVEL 3  
21' - 4 1/2"
- FINISH FLOOR  
-LEVEL 2  
11' - 2 3/4"
- FINISH FLOOR  
-LEVEL 1  
0' - 0"

**A1 BUILDING 5 NORTH ELEVATION**  
 3/32" = 1'-0"

|             |                |
|-------------|----------------|
| Owner       | Owner          |
| Project Num | Project Number |
| Date        | 06/25/2019     |
| Drawn       | Author         |
| Checked     | Checker        |

| Rev# | Description | Date |
|------|-------------|------|
|      |             |      |
|      |             |      |

**BUILDING 5  
 EXTERIOR  
 ELEVATIONS**

**A203**

11/24/2021 11:46:37 AM

|             |                |
|-------------|----------------|
| Owner       | Owner          |
| Project Num | Project Number |
| Date        | 06/25/2019     |
| Drawn       | Author         |
| Checked     | Checker        |

| Rev# | Description | Date |
|------|-------------|------|
|      |             |      |
|      |             |      |
|      |             |      |

**BUILDING 5  
EXTERIOR  
ELEVATIONS**

**A204**



**D1 BUILDING 5 SOUTH ELEVATION 1**  
3/32" = 1'-0"



**A1 BUILDING 5 INSIDE CORNER ELEVATION**  
3/32" = 1'-0"



**A3 BUILDING 5 EAST ELEVATION 2**  
3/32" = 1'-0"



**A5 BUILDING 5 SOUTH ELEVATION 2**  
3/32" = 1'-0"

11/24/2021 11:46:44 AM



# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Mackenzie Bennett, Planner  
**DATE:** April 12, 2022  
**SUBJECT:** Plat Amendment vacating a portion of the public right of way to be used for on street parking at 445 South Orchard Drive

---

### **RECOMMENDATION**

The Development Review Committee (DRC) recommends approval of the plat amendment vacating a portion of the public right of way which will be used for on street parking at 445 South Orchard Drive with the following condition(s):

1. Completion of engineering redlines, if any.

### **BACKGROUND**

When developed, the lot at 445 South Orchard Drive will have 25 diagonal on street parking stalls on Orchard Drive. The parking stalls were to be on private property and outside the city owned right of way. Inadvertently when the Village Station Plat was approved 7 of those stalls were located within the city right of way. This plat amendment vacates the public right of way where those 7 stalls are situated so that all of the on street parking adjacent to this property are owned and maintained in the same fashion. This plat amendment was requested by City Staff and supported by the DRC and the property owner of the lot.

### **POSSIBLE MOTION**

I move that the Planning Commission recommend approval to the City Council the plat amendment for Village Station Phase, Lot 7 vacating a portion of the public right of way incorporating the area with said lot to be used for on street parking at 445 South Orchard Drive with the following condition(s):

1. Completion of engineering redlines, if any.

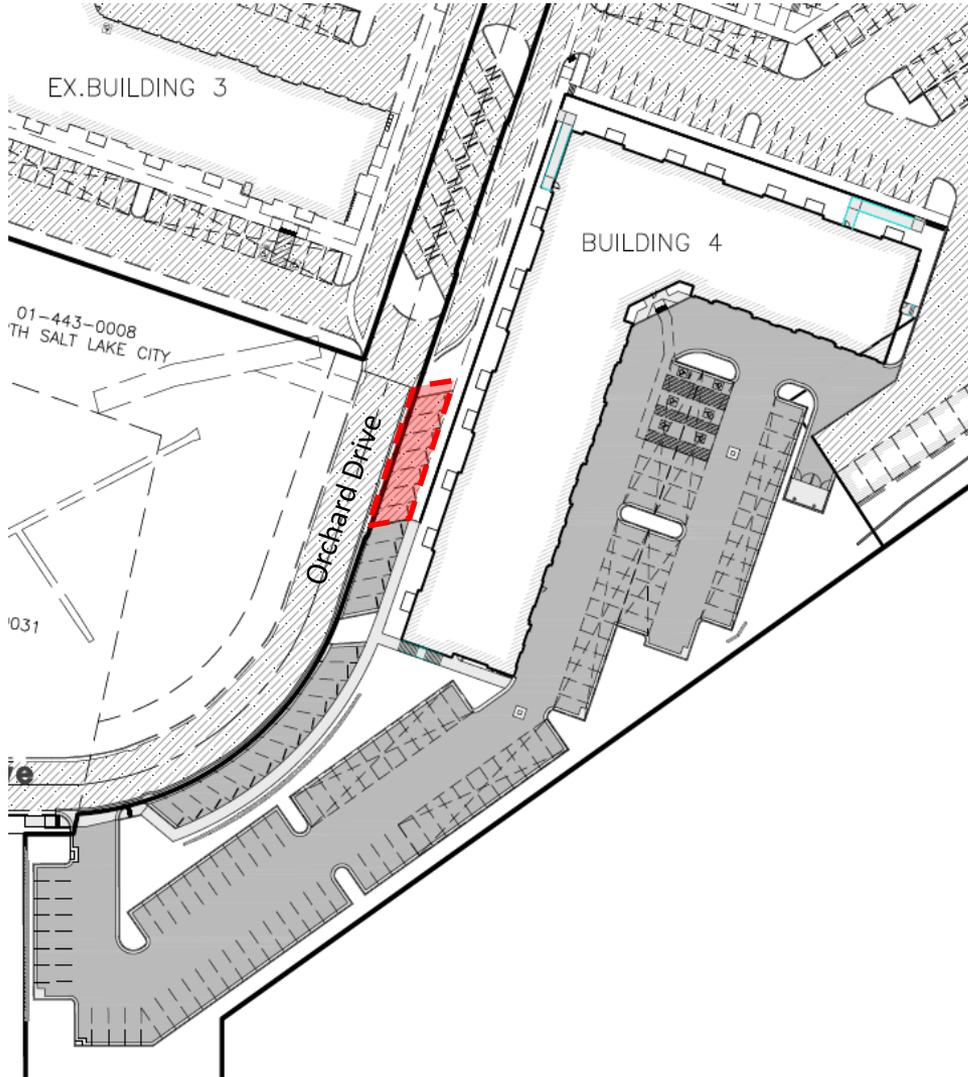
### Attachments

- 1) Site Plan & Aerial Maps
- 2) Amended Plat

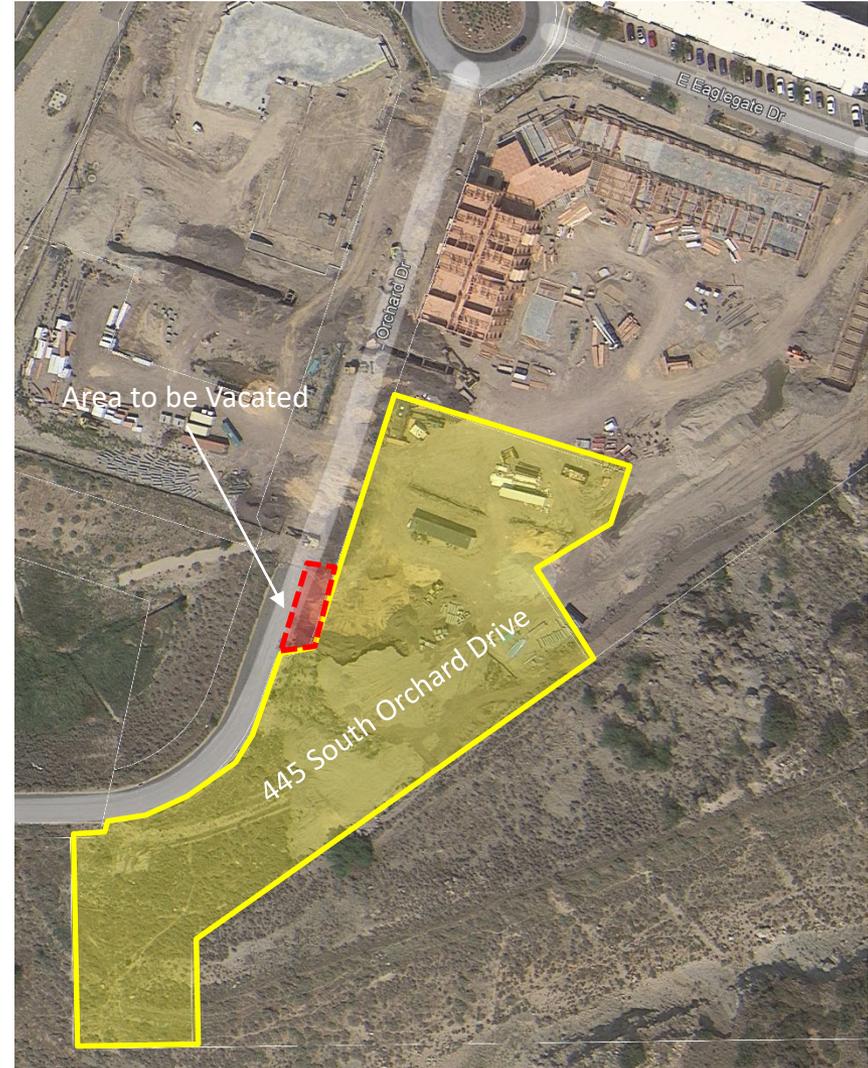


# Village Station Building 4 Site Plan 445 South Orchard Drive Site Plan and Aerial

## Area to be Vacated – Site Plan



## Location – Aerial Map



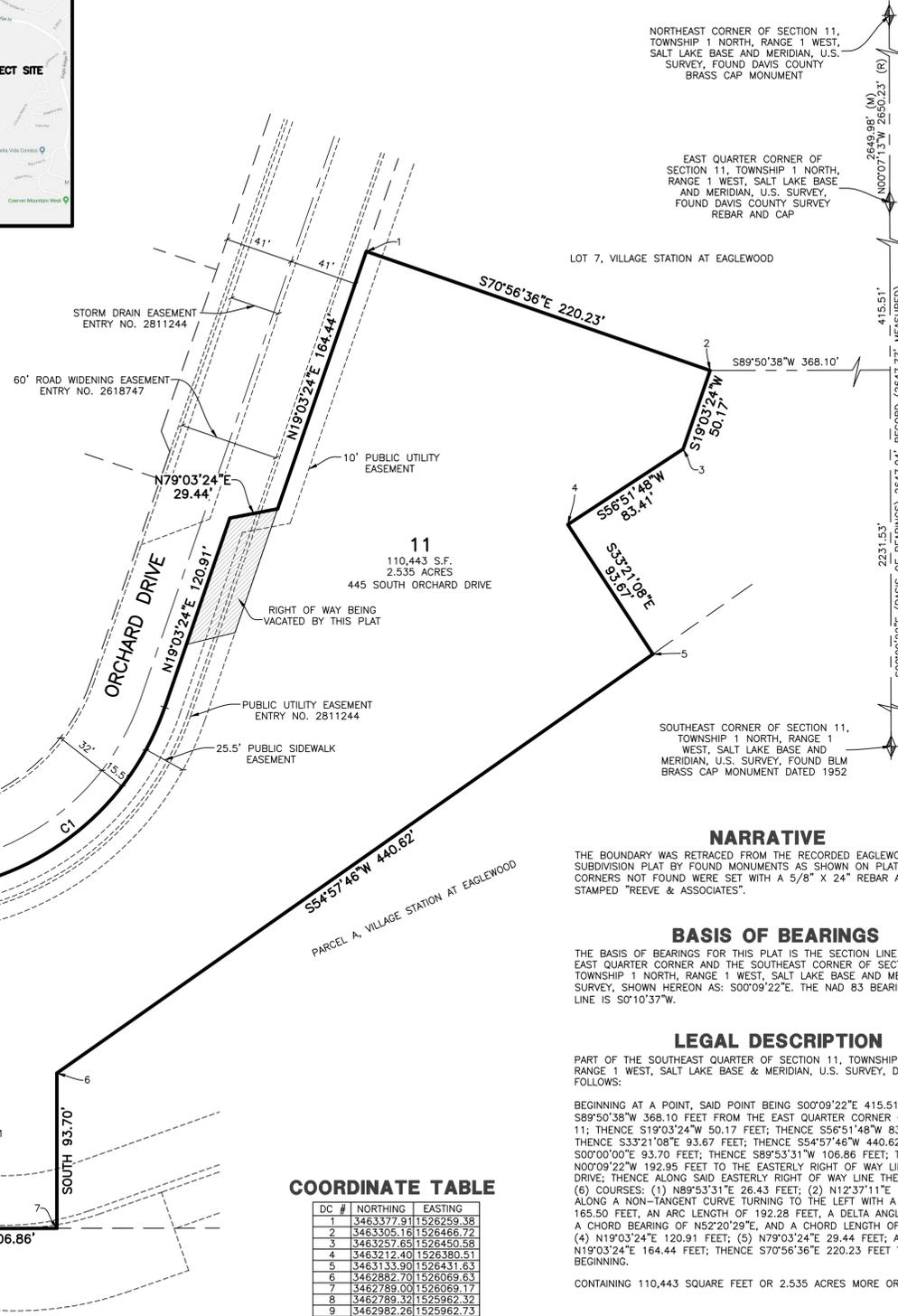
SHEET 1 OF 1

# VILLAGE STATION AT EAGLEWOOD 1ST AMENDMENT

AMENDING LOT 8 OF VILLAGE STATION AT EAGLEWOOD AND VACATING A PORTION OF ORCHARD DRIVE  
AND ALSO BEING PART OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY  
NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH  
APRIL, 2022



VICINITY MAP  
NOT TO SCALE



NORTHEAST CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, FOUND DAVIS COUNTY SURVEY, FOUND DAVIS COUNTY SURVEY BRASS CAP MONUMENT

EAST QUARTER CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, FOUND DAVIS COUNTY SURVEY REBAR AND CAP

SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, FOUND BLM BRASS CAP MONUMENT DATED 1952

**LEGEND**

- SECTION CORNER
- BOUNDARY LINE
- EXISTING ROAD CENTERLINE
- ADJOINING PROPERTY
- EASEMENTS
- SECTION TIE LINE
- RIGHT OF WAY VACATION

Scale: 1" = 50'

**CURVE TABLE**

| #  | RADIUS  | ARC LENGTH | CHD LENGTH | TANGENT | CHD BEARING | DELTA     |
|----|---------|------------|------------|---------|-------------|-----------|
| C1 | 165.50' | 192.28'    | 181.65'    | 108.65' | N52°20'29"E | 66°34'06" |

- NOTES**
- THE PURPOSE OF THE STREET VACATION IS TO CORRECT THE PREVIOUS STREET DEDICATION WHICH INCLUDED STREET ADJACENT PARKING, INTENDED TO BE LOCATED OUTSIDE PUBLIC RIGHT OF WAY.
  - ALL EASEMENTS SHOWN ARE TYPICAL 10 FOOT WIDE PUBLIC UTILITY EASEMENTS (P.U.E.) UNLESS OTHERWISE NOTED.
  - APPROVAL OF THIS DEVELOPMENT PLAT BY THE CITY OF NORTH SALT LAKE DOES NOT CONSTITUTE ANY REPRESENTATION AS TO THE ADEQUACY OF SUB-SURFACE SOIL CONDITIONS NOR THE LOCATION OR DEPTH OF GROUND WATER TABLES.
  - GEOTECH:
    - a. BUILDING PERMIT APPLICATION IN ACCORDANCE WITH CITY CODE SECTION 10-12-4 ALL LOTS ARE REQUIRED TO SUBMIT WITH BUILDING PERMIT APPLICATION: "A SITE SPECIFIC GEOTECHNICAL REPORT IN ACCORDANCE WITH CHAPTER 18 OF THE INTERNATIONAL BUILDING (IBC) AND ANY ENGINEERED CONSTRUCTION PLAN WHICH HAS BEEN DESIGNED IN COMPLIANCE WITH THE RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL REPORT FOR SITE EXCAVATION, GRADING, SLOPE STABILITY, STRUCTURAL COMPONENTS, LANDSCAPING, OR ANY OTHER GEOLOGIC HAZARD MITIGATION SPECIFIED."
    - b. THE REPORT MUST CERTIFY THAT THE DESIGN OF THE CONSTRUCTION HAS BEEN DONE IN ACCORD WITH THE RECOMMENDATIONS FOR THAT SPECIFIC LOT AS CONTAINED WITHIN THE "GEOTECHNICAL INVESTIGATION REPORT: EAGLEWOOD VILLAGE APARTMENTS", PREPARED BY APPLIED GEOTECHNICAL ENGINEERING CONSULTANTS, INC. (AGC) DATED AUGUST 1, 2019 WITH VARIOUS UPDATES THROUGH AUGUST 26, 2020 AND SUPPLEMENTED WITH ROCKFALL HAZARD ASSESSMENT ON OCTOBER 2020 AND UPDATED APRIL 14, 2021. THE REPORT MUST ADDRESS THE RECOMMENDATIONS CONTAINED THEREIN.
    - c. ROCKFALL HAZARD: PARCEL A CONTAINS SIGNIFICANT ROCK FALL HAZARD, AS SUCH A ROCK FALL HAZARD FENCE SHALL BE INSTALLED ON PARCEL A, AS APPROVED BY THE CITY ENGINEER AND CITY GEOTECH CONSULTANT. NO CONSTRUCTION WITHIN THE ROCK FALL RUNOUT ZONE SHALL BE PERMITTED UNTIL SUCH TIME THAT COMPLETION OF THE ROCK FALL HAZARD FENCE HAS BEEN COMPLETED. NO HABITABLE STRUCTURE SHALL BE CONSTRUCTED WITHIN THE RUNOUT ZONE.
  - PRIVATE ROADWAYS AND INDIVIDUAL LOTS ARE SUBJECT TO A CROSS ACCESS EASEMENT AND MAINTENANCE AGREEMENT. (RECORDED BOOK/PAGE)
  - ALL STORM WATER FACILITIES, ALONG WITH STORM DRAIN MAINS AND INLET BOXES AND STORM DRAIN MANHOLES LOCATED WITHIN THE LOTS SHALL BE OWNED AND MAINTAINED BY THE OWNERS ASSOCIATION.
  - ORCHARD DRIVE ON-STREET PARKING MAINTENANCE: THE OWNERS OF LOTS WITHIN THIS DEVELOPMENT OR ANY SUBSEQUENT OWNERS ASSOCIATION, AS MAY BE ESTABLISHED, SHALL BE RESPONSIBLE FOR SNOW REMOVAL AND STRIPING OF ALL PARKING CONTAINED WITHIN THE RIGHT OF WAY OF ORCHARD DR.

**NARRATIVE**  
THE BOUNDARY WAS RETRACED FROM THE RECORDED EAGLEWOOD VILLAGE SUBDIVISION PLAT BY FOUND MONUMENTS AS SHOWN ON PLAT. ALL PROPERTY CORNERS NOT FOUND WERE SET WITH A 5/8" X 24" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES".

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE EAST QUARTER CORNER AND THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS: S00°09'22"E. THE NAD 83 BEARING FOR THIS LINE IS S0°10'37"W.

**LEGAL DESCRIPTION**  
PART OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT, SAID POINT BEING S00°09'22"E 415.51 FEET AND S89°50'38"W 368.10 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 11; THENCE S19°03'24"W 50.17 FEET; THENCE S56°51'48"W 83.41 FEET; THENCE S33°21'08"E 93.67 FEET; THENCE S54°57'46"W 440.62 FEET; THENCE S00°00'00"E 93.70 FEET; THENCE S89°53'31"W 106.86 FEET; THENCE N00°09'22"W 192.95 FEET TO THE EASTERLY RIGHT OF WAY LINE OF ORCHARD DRIVE; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE THE FOLLOWING SIX (6) COURSES: (1) N89°53'31"E 26.43 FEET; (2) N12°37'11"E 11.02 FEET; (3) ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 165.50 FEET, AN ARC LENGTH OF 192.28 FEET, A DELTA ANGLE OF 66°34'06", A CHORD BEARING OF N52°20'29"E, AND A CHORD LENGTH OF 181.65 FEET; (4) N19°03'24"E 120.91 FEET; (5) N79°03'24"E 29.44 FEET; AND (6) N19°03'24"E 164.44 FEET; THENCE S70°56'36"E 220.23 FEET TO THE POINT OF BEGINNING.  
CONTAINING 110,443 SQUARE FEET OR 2.535 ACRES MORE OR LESS.

**COORDINATE TABLE**

| DC # | NORTHING   | EASTING    |
|------|------------|------------|
| 1    | 3463377.91 | 1526259.38 |
| 2    | 3463305.18 | 1526466.72 |
| 3    | 3463257.65 | 1526450.58 |
| 4    | 3463212.40 | 1526380.51 |
| 5    | 3463133.90 | 1526431.63 |
| 6    | 3462882.70 | 1526069.63 |
| 7    | 3462789.03 | 1525969.17 |
| 8    | 3462789.32 | 1525962.32 |
| 9    | 3462982.26 | 1525962.73 |

**SURVEYOR'S CERTIFICATE**  
I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **VILLAGE STATION AT EAGLEWOOD 1ST AMENDMENT** IN **NORTH SALT LAKE, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **NORTH SALT LAKE, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

9031945  
UTAH LICENSE NUMBER

PROFESSIONAL LAND SURVEYOR  
9031945  
TREVOR J. HATCH  
STATE OF UTAH

**OWNERS DEDICATION AND CERTIFICATION**  
WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND PRIVATE STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **VILLAGE STATION AT EAGLEWOOD 1ST AMENDMENT**, AND DO HEREBY DEDICATE TO AND DO HEREBY DEDICATE TO NORTH SALT LAKE CITY FOR PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS "RIGHT OF WAY DEDICATION TO CITY" AND DO HEREBY GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS "PUBLIC UTILITY EASEMENT", THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

VILLAGE STATION NSL LLC

**ALTABANK ACKNOWLEDGMENT**  
STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )  
ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHO BEING BY ME DULY SWORN DID SAY THAT HE/SHE IS THE \_\_\_\_\_ OF ALTABANK, AND THAT THE FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND HE/SHE ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY, \_\_\_\_\_

**PROJECT INFORMATION**  
Surveyor: T. HATCH  
Designer: N. ANDERSON  
Begin Date: 12-23-2020  
Project Name: VILLAGE STATION AT EAGLEWOOD  
Number: 6440-17  
Scale: 1"=80'  
Revision: \_\_\_\_\_  
Checked: \_\_\_\_\_

**DAVIS COUNTY RECORDER**  
ENTRY NO. \_\_\_\_\_ FEE PAID  
\_\_\_\_\_ FILED FOR RECORD  
AND RECORDED, \_\_\_\_\_ AT  
\_\_\_\_\_ IN BOOK \_\_\_\_\_ OF  
THE OFFICIAL RECORDS, PAGE \_\_\_\_\_  
RECORDED FOR:  
\_\_\_\_\_  
DAVIS COUNTY RECORDER  
\_\_\_\_\_  
DEPUTY.

**RECOMMENDED FOR APPROVAL**  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
CITY ENGINEER

**RECOMMENDED FOR APPROVAL**  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
CITY ATTORNEY

**RECOMMENDED FOR APPROVAL**  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
CHAIRMAN, PLANNING COMMISSION

**CITY COUNCIL'S APPROVAL**  
PRESENTED TO THE CITY COUNCIL OF NORTH SALT LAKE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
CITY RECORDER ATTEST:  
MAYOR: \_\_\_\_\_

**RA** **Reeve & Associates, Inc.**  
5100 S 1500 W, ORONDALE, UTAH 84055  
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com  
LAND PLANNERS \* CIVIL ENGINEERS \* LAND SURVEYORS  
TRAFFIC ENGINEERS \* STRUCTURAL ENGINEERS \* LANDSCAPE ARCHITECTS

# TABLE OF CONTENTS

## **1.0 INTRODUCTION, ADMINISTRATION, AND DEFINITIONS**

- 1.1 Introduction
- 1.2 Administration
- 1.3 General Requirements
- 1.4 Definitions

## **2.0 STREET TYPES**

- 2.1 Requirements & Standards
- 2.2 Street Type Standards
- 2.3 Street Layout Requirements
- 2.4 Pedestrian and Bicycle Corridor
- 2.5 Alley
- 2.6 Neighborhood Street
- 2.7 Connector Street
- 2.8 Center Street
- 2.9 U.S. 89

## **3.0 SUBDISTRICTS**

- 3.1 Introduction
- 3.2 Subdistrict Map

## **4.0 USES**

- 4.1 General Requirements
- 4.2 Use Table Elements

## **5.0 BUILDINGS**

- 5.1 General Requirements
- 5.2 Building Type Elements, Measurement, and Design Requirements
- 5.3 Storefront Building
- 5.4 Stacked Flat Building
- 5.5 Limited Bay Building
- 5.6 Row Building

- 5.7 Yard Building
- 5.8 Civic Building
- 5.9 Adaptive Reuse Building

## **6.0 AMENITIES, LANDSCAPING, AND PARKS**

- 6.1 General Requirements
- 6.2 Private Open Space Amenities
- 6.3 Privately Owned Public Open Space
- 6.4 Landscaping and Adjacency to the Public Right of Way
- 6.5 Installation of Landscape
- 6.6 Frontage Buffer
- 6.7 Active Frontage Buffer
- 6.8 Interior Parking Lot Landscape
- 6.9 Screening of Refuse Areas and Utility Appurtenances
- 6.10 Civic Open Space

## **7.0 PARKING**

- 7.1 General Requirements
- 7.2 Parking Requirements
- 7.3 Electric Vehicle Parking Standards
- 7.4 Parking Design Standards

## **8.0 SIGNS & FACADE LIGHTING**

- 8.1 General Requirements
- 8.2 Sign Types
- 8.3 Wall or Mural Sign
- 8.4 Projecting Sign
- 8.5 Projecting Marquee Sign
- 8.6 Awning Sign
- 8.7 Canopy-Mounted Sign
- 8.8 Roof Sign
- 8.9 Window Sign
- 8.10 Monument Sign
- 8.11 A-Frame Sign

# HOW TO USE THIS CODE

The following text is advisory only and is intended to give a brief overview of the overall Code. City of North Salt Lake Planning Staff is always available to explain the regulations within this code and the process for approval.

## **DEFINITIONS**

Section 1 Introduction, Administration, and Definitions contains all definitions that do not apply to the City of North Salt Lake Code generally. Any Town Center Code definition that differs from a North Salt Lake Code definitions shall override the North Salt Lake Code definition.

## **WANT TO KNOW WHAT RULES APPLY IN ORDER TO DEVELOP, SUBDIVIDE, OR ESTABLISH A USE?**

Step 1: Review Sections 1 and 2 to understand the overall regulations for the Town Center, and the City's plan for Town Center Streets.

Step 2: Find your subdistrict by looking at the map in Section 3, Subdistricts.

Step 3: Follow the regulations for that subdistrict through Sections 4 through 8 to determine requirements for use; building form and site design; landscaping and amenities; parking; and signage.

If there is an existing building that does not conform to the development standards, see XXXXX.

Step 4: Consult with City of North Salt Lake Staff for any other applicable ordinances or standards for your site, such as Building Code.

Step 5: Understand the process for moving forward, as described in Section 10.

## **WANT TO CHANGE YOUR SUBDISTRICT OR ZONING?**

Only City Council may change the subdistrict of a property, following public notice, and public hearings, and Planning Commission recommendation.

## Section 1.0 Introduction, Administration, and Definitions

# 1.0 North Salt Lake Town Center

## 1.1. Introduction.

### 1. Intent.

It is the intention of the City of North Salt Lake to establish a contiguous, distinctive town center through the implementation of a form-based code. The City of North Salt Lake Town Center Master Plan (Town Center Master Plan) identifies goals and strategies to accomplish the vision, ultimately resulting in a fully developed “Heart of the City”. It includes but is not limited to the specific purposes below.

- (1) To achieve mixed use development that is appropriate in scale and intensity for the neighborhoods and sites proximate to transit stops and stations.
- (2) To establish a relationship between buildings, streets, and open spaces that is pedestrian, bicycle, and transit-oriented.
- (3) To preserve and enhance the City’s natural resources, energy, water, and open spaces, and to promote innovative development that sustainably addresses these issues, including stormwater runoff management and urban heat island effect mitigation.
- (4) To ensure that a variety of housing types and sizes can be developed to meet the needs of the entire community.
- (5) To promote a variety of transportation options for residents and visitors.

### 2. Vision.

The vision for the North Salt Lake Town Center is to create an identity and hub of activity along Highway 89. The Town Center location is included in the [Wasatch Choice Vision](#), a voluntary regional vision identifying centers of growth along the Wasatch Front. The Town Center concept is further detailed in the North Salt Lake Town Center Plan, adopted in August 2016. The central node of the Town Center will be at the intersection of Highway 89 and Center Street. Encouraging multi-modal transportation through street design and supporting the future UTA Bus Rapid Transit system are central to the successful implementation of this vision.

The Town Center will be a place that is accessible by multiple transportation modes and friendly to all users. In order to have an inviting and exciting gathering space, it shall be safe and attract users with a clear sense of place. Hatch Park is a key amenity to the area, so connections to the park are emphasized. An increase in housing choices enhances both the market for commercial and service uses, as well as the safety of residents and visitors. Efforts to increase public space and open space will be made, including the preservation of the historic Bamberger Rail corridor by conversion to a multi-use public trail.

### 3. History.

The North Salt Lake Town Center has evolved over time, originating as supporting commercial for the once rural North Salt Lake. The Town Center area currently is comprised of a mix of land uses: low, medium and high-density residential uses interspersed with small commercial and retail sites; and a few offices. North Salt Lake, once characterized by fruit orchards and the old Bamberger rail station, has blossomed into a community necessitating a vibrant center, with a defined identity. Through the establishment of a town center and a form-based code, the unique history of North Salt Lake will be both preserved and emphasized.

### 4. Design Principles.

In order to establish a Town Center with long term market sustainability and visitor appeal, thoughtful, well-rounded, quality development is required in all subdistricts. The core of more intense development is focused along Highway 89, where the current commercial focus is conducive to redevelopment. The Form Based Code goal is to facilitate a development transition from centered activity to a reduced mass as it approaches single-family residential areas. Design standards for both the private and public realms are detailed in the code that follows. A design review committee will provide technical review assistance to property owners and the Planning Commission to ensure that development proposals meet the standards and intent of the code.

## **1.2 Administration.**

### **1. Application.**

The Town Center Zone requirements apply to all parcels within the geographic area identified in Figure 1.2.

Refer to Section 3.0 Subdistricts to identify the zoning subdistricts located within the overall Town Center boundary. Each subdistrict includes permitted Uses (refer to section 4.0 Uses) and permitted Building Types (refer to section 5.0 Building Types).

### **2. Administration & Enforcement.**

The provisions of this code shall be administered and enforced by the Planning Commission and City of North Salt Lake staff unless otherwise specifically stated.

Where provisions of this code differ from the City of North Salt Lake Code Title 10 requirements, the requirements of this code shall apply.

### **3. Scope of Regulations.**

- (1) New Development. All development, construction, and establishment of uses within the limits of this code occurring after the effective date of this code shall be subject to all applicable regulations of this code.
- (2) Renovated Structures. All building renovation permits cumulatively affecting greater than 50% gross square footage of a structure within the limits of this code shall be subject to all applicable regulations of this code.
- (3) In-Process Development. Where a building permit for a development has been applied for in accordance with the prior law in advance of this code's effective date, or an approved development agreement is in place, said development may comply with the plans from which the permit was approved and, upon completion, receive a zoning certificate (provided all conditions are met) provided the following.
  - (a) Work or construction is begun within one year of the effective date of this code.
  - (b) Work or construction continues diligently toward completion.
- (4) Nonconformance. After the effective date of this code, existing buildings and uses that do not comply with the regulations of this code shall be considered nonconforming and are subject to the standards of Title 10 Chapter 5 Nonconforming and Noncomplying Standards.
- (5) Zoning and Subdistrict Amendment. Refer to North Salt Lake Code 10-3-1 for the process for zoning and subdistrict amendments. In addition to this process, the following provisions apply for the Town Center Zone.
  - (a) Adjacency Requirement. For the Town Center Zone, parcels seeking rezoning inclusion in the zone must be adjacent to the existing Town Center Zone. Parcels zoned Town Center seeking rezoning to a zone other than the Town Center Zone must be adjacent to their desired zone. The Town Center Zone must remain contiguous.
  - (b) Subdistrict Amendments. Subdistrict amendments will be processed the same way as zoning district amendments.

## **1.3 General Requirements.**

### **1. Applicability.**

The following general block, lot, and street design requirements are applicable to the Town Center.

### **2. Interconnected Street Pattern.**

The streets network shall form an interconnected design of multiple intersections and resulting block sizes as designated in the requirements of 1.3 (3) Access. Considering the following goals:

- (1) The arrangement of streets shall provide for the continuation of existing streets from adjoining areas into new developments.
- (2) Redevelopment that occurs mid-block shall provide pedestrian connections.
- (3) Cul-de-sacs shall be accompanied by pedestrian connections to through streets.
- (4) Streets shall follow natural features rather than interrupting or dead-ending at the feature.

- (5) Streets shall terminate at either an open space or a building facade.
- (6) Refer to 2.0 Street Types for street requirements. Streets shall be aligned on opposite sides of the block, wherever feasible.

### **3. Access.**

- (1) Primary vehicular access shall not be from a street other than Center Street or US 89, unless the parcel is also fronted by one of these streets and/or it is the only option. In these cases, staff shall recommend to the Planning Commission the appropriate street(s) for vehicular access. The determination shall be based on locations of existing, proposed, probable, or desirable vehicular access points of other developments. Access to US 89 shall comply with applicable UDOT access management regulations.

Lots with frontages on US 89 and Center Street shall consult with staff to determine which street frontage warrants primary designation and the front of the lot.

- (2) Pedestrian and Bicycle Corridors are required on blocks longer than 500 feet where there is an opportunity to connect to an existing or planned public right-of-way or trail. See Section 2.4 Pedestrian and Bicycle Corridors.
  - (a) When combined with mid-block street crossings, these pathways shall align to facilitate convenient and safe pedestrian movements.
  - (b) Pedestrian and Bicycle Corridors shall be located within the middle third of a block face, where possible.
  - (c) Minimum width for Pedestrian and Bicycle Corridors rights-of-way or easements is 20 feet.
  - (d) The square footage dedicated to Pedestrian and Bicycle Corridors can be applied toward the open space required by Section 6, given they meet the standards in Table 6.2 (1).

### **4. Lots.**

- (1) Blocks shall typically be fronted with lots on at least two faces, preferably on the longest street faces.
- (2) Typical Lot Dimensions. All lots of record shall be developed to meet the requirements outlined in 5.0 Building Type requirements.
- (3) Typical Lot Configuration. All lots shall have frontage along a public street unless otherwise specified in 5.0 Building Type requirements.
  - (a) Lot Shape. To create regular, rectangular lots, side property lines shall be perpendicular to the vehicular right-of-way to the extent practical.
  - (b) Through-Lots. Through lots fronting on two parallel streets are not permitted with the exception of a lot covering 50 percent or more of a block and the two longest parallel street faces are treated as front property lines per building type requirements (refer to 5.0 Building Types).
  - (c) Corner Lots. Corner lots have a front yard along one street and a corner yard along the other street.
    - (i) The rear yard of a corner lot is typically the yard adjoined to an alley or another lot's rear yard.
    - (ii) The side yard of a corner lot is adjacent to another lot.
  - (d) Flag Lots. Flag lots are prohibited.



## 1.4 Definitions.

### 1. Applicability.

The graphics, tables, and text utilized throughout this code are regulatory. In case of a conflict, text shall control over tables and graphics and tables shall control graphics.

These definitions are specific to the Town Center. All general definitions within the City of North Salt Lake Code apply to the Town Center Code as well.

### 2. General Terms.

For the purposes of this code, the following terms shall have the following meanings.

- (1) **Block Depth.** A block measurement that is the horizontal distance between the front property line on a block face and the front property line of the parallel or approximately parallel block face.
- (2) **Block Ends.** The lots located on the end of a block; these lots are often larger than the lots in the interior of the block or those at the opposite end of the block and can be located on a more intense street type. They are typically more suitable for more intensive development, such as multiple family or mixed use development.
- (3) **Block Face.** The aggregate of all the building facades on one side of a block.
- (4) **Block Length.** A block measurement that is the horizontal distance along the front property lines of the lots comprising the block.
- (5) **Building Type.** A structure defined by the combination of configuration, form, and function. Refer to 5.0 Building Types for more information and the list of permitted Building Types.
- (6) **Courtyard.** An outdoor area enclosed by a building on at least two sides and is open to the sky.
- (7) **Critical Root Zone.** Also referred to as drip line. The area of soil and roots within the radius beneath the tree's canopy, within the dripline, or within a circular area of soil and roots with a radius out from the trunk a distance of 1.5 feet for every inch of the tree's width (measured at 4.5 feet above the mean grade of the tree's trunk, noted as diameter breast height or DBH throughout this code).
- (8) **Entrance Type.** The permitted treatment types of the ground floor Facade of a Building Type.
- (9) **Facade.** The exterior face of a building, including but not limited to the wall, windows, windowsills, doorways, and design elements such as expression lines. The front facade is any building face adjacent to the front property line.
- (10) **Gross Floor Area.** The sum of all areas of a building, including accessory storage areas or closets within sales spaces, working spaces, or living spaces and any basement floor area used for retailing activities, the production or processing of goods, or business offices. It shall not include attic space having headroom of seven feet or less and areas devoted primarily to storage, balconies, off-street parking and loading areas, enclosed porches, roof decks, roof gardens, or basement floor area other than specified above.
- (11) **Landscape Area.** Area on a lot not dedicated to a structure, parking or loading facility, frontage buffer, side and rear buffer, or interior parking lot landscaping.
- (12) **Lot, Interior.** A parcel of land abutting a vehicular Right-of-Way, excluding an Alley, along one (1) Property Line; surrounded by Lots along the remaining Property Lines.
- (13) **Lot, Through.** Also referred to as a double frontage lot. An interior lot having frontage on two approximately parallel vehicular rights-of-way, excluding an alley. Refer to Figure 1.4 (1) Lots.
- (14) **Occupied Space.** Interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.
- (15) **Open Space Type.** The permitted and regulated types of open spaces in this code. Refer to 6.0 Parks, Landscaping, and Amenities for more information and a list of the permitted types.
- (16) **Pervious Surface.** Also referred to as pervious material. A material or surface that allows for the absorption of water into the ground or plant material, such as permeable pavers or a vegetated roof.
- (17) **Primary Street.** A street designated on the Zoning Map that receives priority over other streets in terms of setting front property lines and locating building entrances.

- (18) **Property Line, Corner.** A boundary of a lot that is approximately perpendicular to the front property line and is directly adjacent to a public Right-of-Way, other than an alley or railroad. Refer to Figure 1.4 (1) Lots.
- (19) **Property Line, Front.** The boundary abutting a right-of-way, other than an Alley, from which the required setback or build-to zone is measured, with the following exceptions.
- (20) **Property Line, Rear.** The boundary of a lot that is approximately parallel to the front property line; this line separates lots from one another or separates a lot from an alley. Refer to Figure 1.4 (1) Lots.
- (21) **Property Line, Side.** The boundary of a lot that is approximately perpendicular to the front and rear property lines; it is not adjacent to the public right-of-way. Refer to Figure 1.4 (1) Lots.
- (22) **Roof Type.** The detail at the top of a building that finishes a Facade, including a pitch roof with various permitted slopes and a parapet. Refer to 5.10 for more information and a list of the permitted Roof Types.
- (23) **Semi-Pervious Surface.** Also referred to as semi-pervious material. A material that allows for at least 40% absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or gravel.
- (24) **Solar Reflectance Index (SRI).** A measure of a constructed surface's ability to reflect solar heat, as shown by a small temperature rise. The measure utilizes a scale from 0 to 100 and is defined so that a standard black surface is 0 and a standard white surface is 100. To calculate for a given material, obtain the reflectance value and emittance value for the material; calculate the SRI according to ASTM E 1980-01 or the latest version.
- (25) **Story, Ground.** Also referred to as ground floor. The first floor of a building that is level to or elevated above the finished grade on the front and corner facades, excluding basements or cellars.
- (26) **Story, Upper.** Also referred to as upper floor. The floors located above the ground story of a building.
- (27) **Street Face.** The facade of a building that faces a public right-of-way.
- (28) **Street Type.** The permitted and regulated types of streets in this code. Refer to 2.0 Street Types for more information and a list of the permitted Street Types.
- (29) **Streetwall.** The vertical plane created by building facades along a street. A continuous streetwall occurs when buildings are located in a row next to the sidewalk without vacant lots or significant setbacks.
- (30) **Structure, Accessory.** The general term for a subordinate structure detached from, but located on the same Lot as the Principal Structure; it may or may not be inhabitable.
- (31) **Structure, Principal.** Also referred to as the principal building. A building that contains the dominant Use of the Lot. It is typically located toward the front of the Lot in the front Build-to Zone or behind the Front Yard Setback.
- (32) **Tree Canopy.** The uppermost area of spreading branches and leaves of a tree.
- (33) **Tree Canopy Coverage.** The area of ground covered or shaded by a tree's canopy, measured in square feet.
- (34) **Visible Basement.** A half story partially below grade and partially exposed above with required transparency on the street facade.

## **2. Use Terms.**

- (1) **Accessory Uses.** A use that is not permitted to serve as the principal use on a zoning lot.
- (2) **Drive-through Facilities.** Any establishment that provides products or services to person's remaining in a vehicle isle adjacent to the building.
- (3) **Residential.** One or more dwelling units located within the principal structure of a lot, in which the units may or may not share a common wall with the adjacent (horizontally or vertically) unit or have individual entrances from the outside.
- (4) **Assembly.** A facility that has organized services, meetings, or programs to benefit, educate, entertain, or promote discourse amongst the residents of the community in a public or private setting. Assembly includes such uses as a community center, house of worship, and private clubs and lodges.
- (5) **Transit Station.** A covered passenger boarding facility with a platform(s), which may include a waiting area, ticket office or machines, restrooms, or concessions.
- (6) **Police and Fire.** A facility providing public safety and emergency services; training facilities, locker rooms, and limited overnight accommodations may also be included. The facilities shall be housed in a permitted building, but shall have the following additional allowances:

- (a) Garage doors are permitted on the front facade.
  - (b) Exempt from maximum driveway widths.
  - (c) Exempt from height regulation.
- (7) Post Office. A publicly accessed facility for the selling of supplies and mail related products and the small scale collection and distribution of mail and packages. Large-scale postal sorting and distribution is not permitted.
- (8) School. An education facility with classrooms and offices, that may also include associated indoor facilities such as ball courts, gymnasium, theater, and food service.

### **3. Building Type Terms.**

- (1) Multiple Principal Structures. The allowance of more than one detached structure on a lot.
- (2) Front Property Line Coverage. The percentage of the front property line occupied by the width of a building.
- (3) Front Setback Minimum and Maximum. The Setback Minimum and Maximum parallel to the front property line. Building components, such as awnings or signage, are permitted to encroach into the Setback Minimum and Maximum.
- (4) Corner Setback Minimum and Maximum. The Setback Minimum and Maximum parallel to the corner property line. Setback is measured from the back of sidewalk.
- (5) Minimum Side Yard Setback. The minimum required setback along a side property line. For corner parcels, the minimum side yard setback applies to all property lines not fronting a street or public right-of-way. Setback is measured from the back of sidewalk.
- (6) Minimum Rear Yard Setback. The minimum required setback along a rear property line. Setback is measured from the back of sidewalk.
- (7) Minimum & Maximum Lot or Building Width. Depending on the Building Type, either the minimum or maximum building or unit width will be noted or the minimum and maximum width of a lot, all measured at or parallel to the front property line.
- (8) Maximum Impervious Coverage. The maximum percentage of a lot permitted to be covered by principal structures, accessory structures, pavement, and other impervious surfaces.
- (9) Additional Semi-Pervious Coverage. The additional percentage of a lot beyond the Maximum Impervious Coverage, which may be surfaced in a semi-pervious material, including a green roof or pavers.
- (10) Parking & Loading Location. The yard in which a surface parking lot, detached garage, attached garage door access, loading and unloading, and associated drive is permitted.
- (11) Vehicular Access. The permitted means of vehicular ingress and egress to the lot.
- (12) Minimum Overall Height. The minimum overall height for the building.
- (13) Maximum Overall Height. The maximum total number of stories for a building.
- (14) Ground Story and Upper Story, Minimum and Maximum Height. Story height is measured in feet between the floor of a story to the floor of the story above it.
- (15) Ground and Upper Story Uses. The uses or category of uses which may occupy the ground and/or upper story of a building.
- (16) Required Occupied Space. The area(s) of a building that shall be designed as occupied space, defined as interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.
- (17) Minimum Ground Story and Upper Floor Transparency. The minimum amount of transparency required on street facades with street frontage, measured by the ratio of the area of the total windows on a story to the area of the story total.
- (18) Blank Wall Limitations. A restriction of the amount of windowless area permitted on a facade with street frontage.
- (19) Principal Entrance Location. The facade on which the primary building entrance is to be located.
- (20) Required Number of Street Entrances. The minimum number of and maximum spacing between entrances on the ground floor building facade with street frontage.
- (21) Horizontal Facade Divisions. The use of a vertically oriented expression line or form to divide the facade into increments no greater than the dimension shown, as measured along the base of the facade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of one and a half inch depth.

- (22) Vertical Facade Divisions. The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth.
- (23) Tower. A vertical building extension that may be permitted in conjunction with another roof type on certain Building Types.
- (24) Required Occupied Space. The area(s) of a building that shall be designed as occupied space, defined as interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.

1  
2 CITY OF NORTH SALT LAKE  
3 PLANNING COMMISSION MEETING  
4 MARCH 22, 2022

5 **DRAFT**

6  
7 Commission Chair BreAnna Larson called the meeting to order at 6:30 p.m. and Ryan Holbrook  
8 led those present in the Pledge of Allegiance.

9  
10 PRESENT: Commission Chair BreAnna Larson  
11 Commissioner Ryan Holbrook  
12 Commissioner Ron Jorgensen  
13 Commissioner Irene Stone  
14 Commissioner William Ward

15  
16 EXCUSED: Commissioner Katherine Maus  
17 Commissioner Brandon Tucker

18  
19 STAFF PRESENT: Mackenzie Bennett, Planner.

20  
21 OTHERS PRESENT: Dee Lalliss, resident; Ken Potts, Connor Taylor, Kelly Holland (via  
22 telephone), Innophos.

23  
24 1. PUBLIC COMMENTS

25  
26 There were no public comments.

27  
28 2. CONSIDERATION OF SITE PLAN AMENDMENT APPROVAL FOR INNOPHOS  
29 WATER TREATMENT FACILITY AT 680 NORTH 700 WEST, CONNOR TAYLOR,  
30 APPLICANT

31  
32 Mackenzie Bennett explained that South Davis Sewer District required treatment for water after  
33 it was used within the facilities for Innophos, a supplement and vitamin manufacturer. In order to  
34 be in compliance with the requirements from South Davis Sewer District, Innophos would be  
35 adding two 36 foot tall stainless steel water tanks and an 1,880 square foot addition to the  
36 existing building. The property is located in the Manufacturing Distribution (MD) zone and is  
37 approximately 101,438 square feet. A 1,050 square foot carport on the north side of the building  
38 is to be removed and replaced with the new building addition.

39  
40 The applicant will be providing 93 parking stalls, with four ADA compliant spaces, per City  
41 code requirements. The site modifications would remove four of the existing parking stalls but  
42 add 18 new stalls to the north of the existing parking.

43

44 Mackenzie Bennett presented the site plan with the proposed location of the storage tanks,  
45 building addition, and additional parking. She said the minimum landscape percentage was 10%  
46 in the MD zone and the proposed site plan provided 33,842 square feet of landscaping which was  
47 equal to 10%. The proposed building addition meets architectural design guidelines and is  
48 compliant with code including massing and materials. Ms. Bennett explained that the placement  
49 of the steel tanks in the front setback was not prohibited or regulated by City code. The tanks  
50 would be required to remain in good condition so as not to be an aesthetic nuisance.

51  
52 Mackenzie Bennett explained that as the affected area was less than five acres the site plan  
53 amendment did not need to go before the City Council for approval. The Development Review  
54 Committee (DRC) recommended approval of the amendment and as all engineering redlines had  
55 been completed there were no conditions.

56  
57 Chair Larson asked about the water treatment requirements. Connor Taylor, Innophos, replied  
58 that they were required to take the processed water and test it for pH as well as a clarifier for  
59 metals such as zinc as an excess amount could interfere with the Sewer District's processes.

60  
61 Chair Larson questioned how the excess metals were handled after filtration. Connor Taylor  
62 responded that the metals became a filter cake that was processed into a containment area and  
63 disposed offsite.

64  
65 Commissioner Holbrook asked if there would be a clarifier onsite. Connor Taylor replied  
66 affirmatively.

67  
68 Commissioner Jorgensen spoke on the additional 18 parking spaces. He said he had visited the  
69 site and noticed employees parking on the street and at a building across the street from the site.  
70 Connor Taylor said they would install asphalt for the additional parking. He explained they also  
71 owned a building across the street with employees who worked at both locations.

72  
73 Chair Larson asked what the building addition would be used for. Connor Taylor replied that the  
74 addition would contain the wastewater treatment equipment.

75  
76 **Commissioner Jorgensen moved that the Planning Commission approve of the site plan**  
77 **amendment for Innophos Water Treatment Facility located at 680 North 700 West with no**  
78 **conditions. Commissioner Holbrook seconded the motion. The motion was approved by**  
79 **Commissioners Holbrook, Jorgensen, Larson, Stone, and Ward. Commissioners Maus and**  
80 **Tucker were excused.**

81           3. REPORT ON CITY COUNCIL ACTIONS ON ITEMS RECOMMENDED BY  
82           PLANNING COMMISSION

83  
84 Mackenzie Bennett shared that there was nothing to report regarding City Council actions on  
85 items recommended by the Planning Commission. She then explained the overview and chapter  
86 1 of the Form-Based Code that was provided to the Planning Commission in paper format. She  
87 said the Planning Commission would review and discuss these at the next Commission meeting.  
88

89 Commissioner Jorgensen commented that background on the context, history, and the reasoning  
90 for this template may be helpful for the newer Commissioners. Mackenzie Bennett replied that  
91 during the overview of the Form-Based Code staff would provide a refresher of the proposed  
92 code. She explained that while the Commission was reviewing the chapters to look at the  
93 conceptual ideas and enforceable code as well as any grammatical errors.  
94

95 Chair Larson said that this process had taken over two years, partly due to COVID, and was a  
96 large undertaking that would impact how the City was developed and planned moving forward.  
97 She explained that the Form-Based Code should streamline the development process and make it  
98 more objective overall.  
99

100 Commissioner Jorgensen asked if there was any training specific to Form-Based Code that may  
101 be useful for the Commissioners. Chair Larson replied that it was a guiding document and could  
102 be amended in the future.  
103

104 Mackenzie Bennett commented that she would research books or training about Form-Based  
105 Code and report back during the next Commission meeting.  
106

107 Commissioner Ward mentioned the purpose statements and additional items that may not be  
108 needed in the code. Mackenzie Bennett responded that the diagrams and pictures would be  
109 added, unnecessary items would be removed, and the entire document would be codified.  
110

111           4. APPROVAL OF MINUTES

112  
113 The Planning Commission meeting minutes of March 8, 2022 were reviewed and approved.  
114

115 **Commissioner Jorgensen moved to approve the March 8, 2022 meeting minutes as drafted.**  
116 **Commissioner Ward seconded the motion. The motion was approved by Commissioners**  
117 **Holbrook, Jorgensen, Larson, Stone, and Ward. Commissioners Maus and Tucker were**  
118 **excused.**  
119  
120  
121  
122

123           5. ADJOURN

124

125 Chair Larson adjourned the meeting at 6:54 p.m.

126

127 *The foregoing was approved by the Planning Commission of the City of North Salt Lake on*  
128 *Tuesday, April 12, 2022 by unanimous vote of all members present.*

129

130

131 \_\_\_\_\_  
*Wendy Page, City Recorder*